

A NEW PRIVATE RESIDENCE



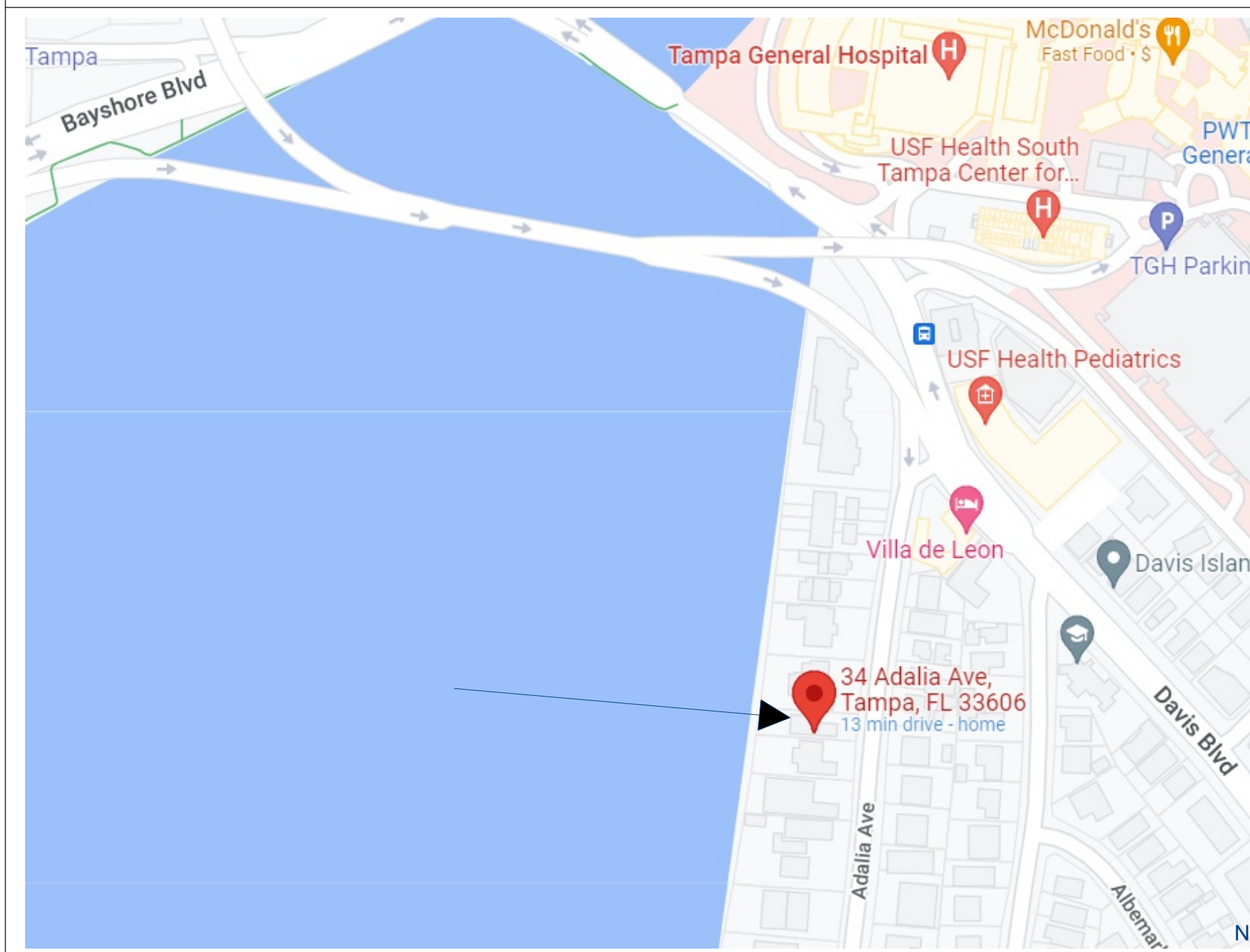
CONCEPTUAL RENDERING

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division. The Stamping of this plan shall not be valid to permit or approve the violation of any City or State Codes
REVIEWED FOR CODE COMPLIANCE

34 ADALIA AVE, TAMPA, FL 33606

LOCATION MAP: NOT TO SCALE



AE 12
BFE 13'
DFE 14'

City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

GENERAL NOTES

- THESE CONSTRUCTION DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF BOSS & MENNIE, INC. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT BOSS & MENNIE, INC.'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.
- WHERE SPECIFIED MATERIAL, EQUIPMENT OR SPECIALTY ITEMS REQUIRE EXCESSIVE TIME THAT MAY CAUSE DELAY TO CONSTRUCTION SCHEDULE, CONTRACTOR SHALL PROVIDE AVAILABLE ALTERNATE WITH PRICING AND MANUFACTURER DATA.
- PROJECT CONDITIONS AND ACTIVITIES SHALL COMPLY WITH LOCAL, STATE AND FEDERAL SAFETY GUIDELINES AND CODES.

GENERAL NOTES - CONTINUED

- A BLOWER DOOR TEST IS REQUIRED TO BE COMPLETED AND A PASSING SCORE WILL BE REQUIRED FOR ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE ELECTRICAL BREAKER PANEL.
- ELEVATION CERTIFICATE AND TIE-IN SURVEY WILL BE REQUIRED PRIOR TO STEMWALL AND/OR SLAB POUR.
- FOR ALL DISCREPANCIES BETWEEN BLUEPRINTS AND THE SPECIFICATIONS DOCUMENT FOUND IN THE OWNER/BUILDER CONTRACT, THE SPECIFICATIONS DOCUMENT WILL TAKE PRIORITY.
- VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL & STRUCTURAL DOCUMENTS AND PROPERLY COORDINATED, APPROVED SHOP DRAWINGS.
- ELECTRICAL LOCATIONS SHOWN ON THE ELECTRICAL PLAN MAY BE MODIFIED AT THE SOLE DISCRETION OF BOSS & MENNIE, INC., OR ITS ELECTRICIAN IN ACCORDANCE WITH NATIONAL AND LOCAL ELECTRICAL CODES. OUTLET, SWITCH AND RECESSED LIGHTING LOCATIONS AND QUANTITIES ARE NOT GUARANTEED AS NECESSARILY SHOWN ON PLANS.
- IT IS THE RESPONSIBILITY OF THE LICENSED HVAC CONTRACTOR TO VERIFY TRUSS LAYOUT AND EQUIPMENT LOCATIONS TO PROVIDE PROPER CLIMATE CONTROL AND SYSTEM OPERATION.
- IT IS THE RESPONSIBILITY OF THE PLUMBER TO VERIFY THE ACCURACY OF ANY PLUMBING FIXTURE DIMENSIONS DURING ROUGH-IN.
- THIS BUILDING IS TYPE V-B CLASSIFICATION.
- STRUCTURE LIES PRIMARILY IN FEMA FLOOD ZONE AE-12 - DFE 13.0 FT NAVD - TO LOWEST HORIZONTAL SUPPORT (LIMWA APPLIES).
- STRUCTURE MUST COMPLY WITH FBC R322 AND CITY OF TAMPA 5-111 AS IT PERTAINS TO FLOOD ZONE REQUIREMENTS.

ARCHITECTURAL ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	INSUL	INSULATION
AL	ALUMINUM	I.D.	INSIDE DIAMETER
ALUM	ALUMINUM	K D.A.T.	KILN DRIED AFTER TREATMENT
AP	ACCESS PANEL	MECH	MECHANICAL
BUR	BUILT-UP ROOF	MICRO	MICROWAVE OVEN
BRG	BEARING	MIL	MILIMETER
CAB	CABINET	NR	NON-RATED
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTERLINE	O.C.	ON CENTER
CMT	CERAMIC MOSIAC TILE	OD	OVERFLOW DRAIN
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	P	PAINT
CONT	CONTINUOUS	PTD.	PAINTED
CONC	CONCRETE	P.T.	PRESSURE TREATED
CT	CERAMIC TILE	RD	ROOF DRAIN
DIA	DIAMETER	REF	REFRIDGERATOR
EJ	EXPANSION JOINT	S4S	SMOOTH FOUR SIDES
EQ	EQUAL	SF	SQUARE FEET
ETR	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SFP	SPRAY FIREPROOFING
EXIST	EXISTING	SQ	SQUARE
EXT	EXTERIOR	SS	STAINLESS STEEL
FD	FLOOR DRAIN	ST	STAIN
FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FFE	FINISH FLOOR ELEVATION	T&G	TONGUE AND GROOVE
FT	FEET	T.O.	TOP OF
GA	GALVANIZED	T.O.M.	TOP OF MASONRY
GALV	GALVANIZED	TYP	TYPICAL
GC	GENERAL CONTRACTOR	UCR	UNDER COUNTER RECEPTACLE
GL	GLASS	UL	UNDERWRITERS LABORATORY
GMS	GALVANIZED METAL STUD	VCJ	VERTICAL CONTROL JOINT
GWB	GYPSON WALLBOARD	VCT	VINYL COMPOSITION TILE
GYP	GYPSON	VERT	VERTICAL
HM	HOLLOW METAL	VTR	VENT THRU ROOF
HR	HOUR	VIF	VERIFY IN FIELD
HRDWR	HARDWARE	W/	WITH
		WD	WOOD

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FLORIDA PRODUCT APPROVALS

Manufacturer	Category	Description	FL Product Approval #
Kolbe Windows and Doors	Windows	Casement Window - Forgent Series - Impact	22235
Kolbe Windows and Doors	Windows	Fixed picture window - Forgent Series - Impact	22242
Clopay	Exterior Doors	Impact lites, Modern Series Overhead Garage Doors	16546.39
Euro-Wall	Exterior Doors	Euro Wall Sliding Glass Door	21179
Euro-Wall	Exterior Doors	Euro Pivoting Inswing/Outswing Impact Door	22410
GAF	Roofing	EverGuard TPO Single-Ply Roof Membrane	5293.1
GAF	Roofing	Liquid Applied Roof Systems	20663-R1
Cast-Crete USA, Inc.	Structural Components	Concrete Lintels	158.1
Lott's Concrete Products	Structural Components	Concrete Lintels	5092.1, 12045.1
Simpson Strong-Tie Co.	Structural Components	META12 / 16	11473.9
Simpson Strong-Tie Co.	Structural Components	HGT-2	10456.4
Simpson Strong-Tie Co.	Structural Components	LGT2	11473.7
Simpson Strong-Tie Co.	Structural Components	H10A	10446.7
Simpson Strong-Tie Co.	Structural Components	LUS210	10655.31
Simpson Strong-Tie Co.	Structural Components	SP1 / SP2	10456.11
Simpson Strong-Tie Co.	Structural Components	Titen HD Anchors	15730.6
Simpson Strong-Tie Co.	Structural Components	H2.5A anchor	10456.3
Smart Vent Products	Flood Vents	Flood vents	5822

CONTACT INFORMATION

BUILDER & DESIGNER:
BOSS & MENNIE, INC.
100 MAIN ST. SUITE 200
SAFETY HARBOR, FL 34695
FL CBC# 1256191

BOSS & MENNIE
LUXURY HOME BUILDERS

SURVEYOR:
ROBERTSON SURVEYING
14052 N. FLORIDA AVE. TAMPA, FL 33613
LIC # LB8106

Belt Engineering

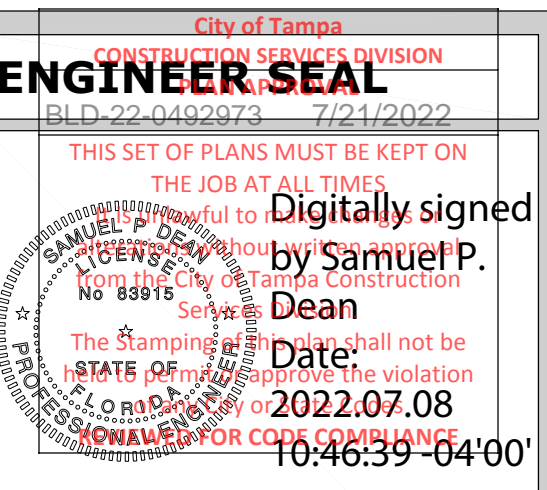
STRUCTURAL ENGINEER:
BELT ENGINEERING
1503 WEST BUSCH BLVD. SUITE A
TAMPA, FL 33612

PROJECT ADDRESS:
34 ADALIA AVE.
TAMPA, FL 33606

SQ. FT. TABULATION

	SQUARE FOOTAGE	
GROUND FLOOR	GARAGE	2505
	COVERED PARKING - EXTERIOR	472
	COVERED ENTRY - EXTERIOR	530
2ND FLOOR	COVERED REAR LANAI	720
	CONDITIONED LIVING	3432
	FRONT PORCH/BALCONY	342
3RD FLOOR	REAR BALCONY	361
	CONDITIONED LIVING	3437
	BED 6 COVERED BALCONY	89
PENTHOUSE	REAR BALCONY	361
	CONDITIONED LANDING	153
TOTAL - CONDITIONED	CONDITIONED STORAGE	44
		7066
	TOTAL - ALL AREAS	12446

APPROVED
By Manuel Zambrano at 7/21/2022 2:26:38 PM



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON 07/21/2022 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM

BOSS & MENNIE
LUXURY HOME BUILDERS
100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695
CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
			07/07/22
	1	PLAN REVIEW REVISIONS	

PAGE DESCRIPTION

COVER SHEET

PERMIT NUMBER

CITY OF TAMPA:
BLD-22-0492973

SCALE:

N.T.S.

SHEET:

A-1

NFIP Regulations

The NFIP regulations for flood damage-resistant materials are codified in Title 44 of the Code of Federal Regulations, in Section 60.3(a)(3), which states that a community shall:

"Review all permit applications to determine whether proposed building sites will be reasonably safe from flooding. If a proposed building site is in a floodprone area, all new construction and substantial improvements shall... (ii) be constructed with materials resistant to flood damage."

Proposals for substantial improvement of existing buildings in SFHAs, and proposals to repair those that have sustained substantial damage, must comply with the requirements for new construction. As part of issuing permits, community officials must review such proposals to determine whether they comply with the requirements, including the use of flood damage-resistant materials. Refer to the "Classification of Flood Damage-Resistant Materials" section of this Technical Bulletin for additional details. Further information on substantial improvement and substantial damage is found in Answers to Questions About Substantially Damaged Buildings (FEMA 213).

The NFIP Technical Bulletins provide guidance on the minimum requirements of the NFIP regulations. Community or State requirements that exceed those of the NFIP take precedence. Design professionals should contact the community to determine whether more restrictive provisions apply to the building or site in question. All other applicable requirements of the State or local building codes must also be met for buildings in all flood hazard areas.

City of Tampa

CONSTRUCTION SERVICES DIVISION

Requirements for Flood Damage-Resistant Materials

7/21/2022

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All building materials below the BFE must be flood damage-resistant, regardless of the expected or historic flood duration. For example, buildings in coastal areas that experience relatively short-duration flooding (generally, flooding with a duration of less than 24 hours) must be constructed with flood damage-resistant materials below the BFE. As noted in Table 2, only Class 4 and Class 5 materials are acceptable for areas below the BFE in buildings in SFHAs.

In some instances, materials that are not flood damage-resistant materials, such as wiring for fire alarms and emergency lighting, are allowed below the BFE if specifically required to address life safety and electric code requirements for building access and storage areas.

How Flood Damage-Resistant Materials Affect Flood Insurance Rates

Careful attention to compliance with the NFIP regulations for flood damage-resistant materials is important during design, plan review, construction, and inspection. Compliance influences both the building's vulnerability to flood damage and the cost of NFIP flood insurance. Flood insurance will not pay a claim for finish materials located in basements or in enclosed areas below the lowest floor of elevated buildings, even if such materials are considered to be flood damage-resistant. NFIP claims for damage below the BFE are limited to utilities and equipment, such as furnaces and water heaters.

Classification of Flood Damage-Resistant Materials

The information in this Technical Bulletin was initially developed based on information in the U.S. Army Corps of Engineers' Flood Proofing Regulations (1995), and has been updated based on additional information from FEMA-funded studies and reports, technical experts, and industry and trade groups. Table 1 classifies building materials according to their ability to resist flood damage.

Table 1. Class Descriptions of Materials

Table with 3 columns: NFIP, Class, and Class Description. It lists material classes from 1 to 5, categorized as Acceptable or Unacceptable.

Notes: 1. Floodwater is assumed to be considered "black" water... 2. Moving water is defined as water moving at low velocities... 3. Some materials can be successfully cleaned... 4. Clean water includes potable water as well as "gray" water...

Table 2 lists structural materials and finish materials commonly used in construction of floors, walls, and ceilings. For the purpose of this Technical Bulletin, structural materials and finish materials are defined as follows:

Structural materials include all elements necessary to provide structural support, rigidity, and integrity to a building or building component. Structural materials include floor slabs, beams, subfloors, framing, and structural building components such as trusses, wall panels, joists and headers, and interior/exterior sheathing.

Finish materials include all coverings, finishes, and elements that do not provide structural support or rigidity to a building or building component. Finish materials include floor coverings, wall and ceiling surface treatments, insulation, cabinets, doors, partitions, and windows.

Notes Regarding Classification of Materials

The classifications in Table 2 are based on the best information available at the time of publication. However, flood damage-resistance is determined by factors that may be a function of the specific application and by the characteristics of the floodwaters. Each situation requires sound judgment and knowledge of probable contaminants in local floodwaters that are listed in Table 2, manufacturers' use and installation instructions must be followed to ensure maximum performance.

Materials Not Listed: Table 2 does not list all available structural materials and finish materials. For materials and products not listed, manufacturers' literature (i.e., specifications, materials safety data sheets, test reports) should be evaluated to determine if the product meets flood damage-resistance requirements.

Unacceptable Materials: Class 1, 2, and 3 materials are unacceptable for below-BFE applications for one or more of the following reasons:

- Normal adhesives specified for above-grade use are water soluble or are not resistant to alkali or acid in water... The materials contain wood or paper products... Sheet-type floor coverings... Materials are dimensionally unstable... Impact of Material Combinations...

Vinyl tile with chemical-set adhesives is an acceptable finish flooring material when placed on a concrete structural floor. However, when the same vinyl tile is applied over a plywood structural floor, it is no longer considered acceptable because the vinyl tile must be removed to allow the plywood to dry.

Polyester-epoxy or oil-based paints are acceptable wall finishes when applied to a concrete structural wall. However, when the same paint is applied to a wood wall, it is no longer considered acceptable.

Impact of Long-Duration Exposure and/or Contaminants: The classifications of materials listed in Table 2 do not take into account the effects of long-duration exposure to floodwaters or contaminants carried by floodwaters.

Following Hurricane Katrina, FEMA deployed a Mitigation Assessment Team (MAT) to examine how building materials performed after long-duration exposure (2 to 3 weeks) to floodwaters (FEMA 549). The field survey revealed that some materials absorbed floodborne biological and chemical contaminants.

Building owners, design professionals, and local officials should consider potential exposure to floodborne contaminants when selecting flood damage-resistant materials. For example, Table 2 lists cast-in-place concrete, concrete block, and solid structural wood (2x4s, etc.), as acceptable flood damage-resistant materials.

City of Tampa CONSTRUCTION SERVICES DIVISION ENGINEER SEAL BLD-22-0492973 7/21/2022 THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES...

THIS PERM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAUL P. DEAN, P.E. ON 07/20/2022 USING A SIGN AUTHENTICATION CODE...

DESIGN/BUILD FIRM

BOSS & MENNIE LUXURY HOME BUILDERS 100 MAIN ST SUITE 200 SAFETY HARBOR, FL 34695 CCG 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606

Table 2. Types, Uses, and Classifications of Materials

Table with columns: Types of Building Materials, Uses of Building Materials (Floors, Walls/Ceilings), and Classes of Building Materials (Acceptable, Unacceptable).

Table 2. Types, Uses, and Classifications of Materials (continued)

Table with columns: Types of Building Materials, Uses of Building Materials (Floors, Walls/Ceilings), and Classes of Building Materials (Acceptable, Unacceptable).

Table 2. Types, Uses, and Classifications of Materials (continued)

Table with columns: Types of Building Materials, Uses of Building Materials (Floors, Walls/Ceilings), and Classes of Building Materials (Acceptable, Unacceptable).

City of Tampa CONSTRUCTION SERVICES DIVISION THIS PROJECT IS IN A FLOODPLAIN - ZONE AE Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

Table 2. Types, Uses, and Classifications of Materials (continued)

Table with columns: Types of Building Materials, Uses of Building Materials (Floors, Walls/Ceilings), and Classes of Building Materials (Acceptable, Unacceptable).

Table 2. Types, Uses, and Classifications of Materials (continued)

Table with columns: Types of Building Materials, Uses of Building Materials (Floors, Walls/Ceilings), and Classes of Building Materials (Acceptable, Unacceptable).

PLEASE REFER TO CITY OF TAMPA CODE 5-111 TO ENSURE COMPLIANCE WITH ADDITIONAL FLOOD-RESISTANT CONSTRUCTION REQUIREMENTS.

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

Table with columns: REVISIONS, NO., DESCRIPTION, DATE. Row 1: 1, PLAN REVIEW REVISIONS, 07/07/22

PAGE DESCRIPTION

FEMA REFERENCE

PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

N/A

SHEET:

A-3

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

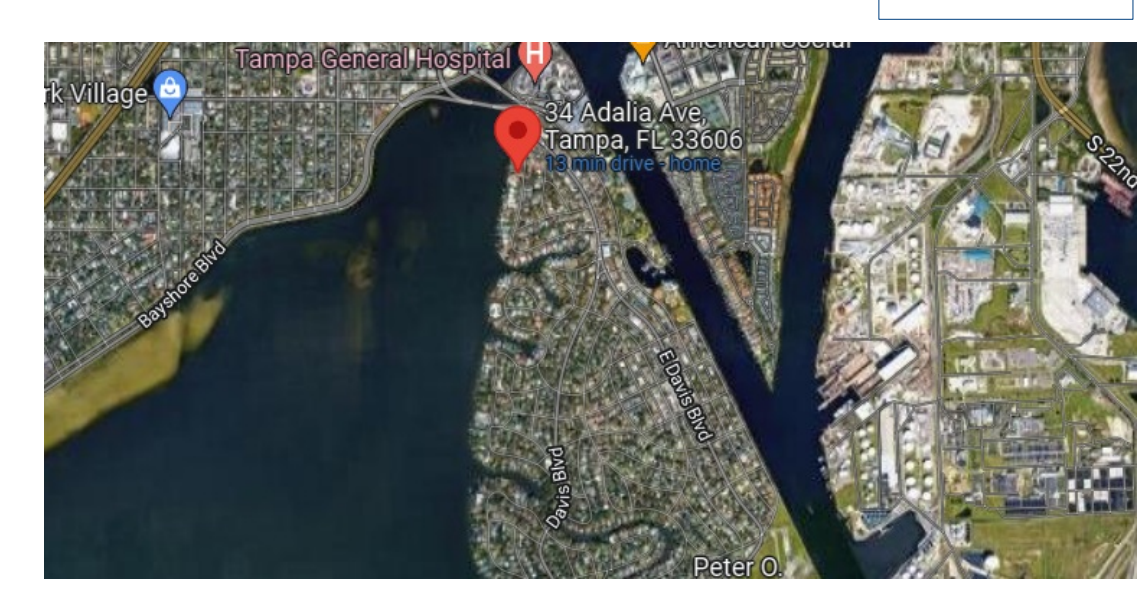
DESCRIPTION:
LOT 17, BLOCK 6, DAVIS ISLANDS, HYDE PARK SEC'D,
ACCORDING TO THE MAP OR PLAN THEREOF, AS RECORDED
IN PLAT BOOK 10, PAGE 52, OF THE PUBLIC RECORDS OF
HILLSBOROUGH COUNTY, FLORIDA.

CURVE TABLE

FIELD DATA				
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING
C1	50.36'	3630.00'	0°48'30"	N 04°04'00" E
C2	50.57'	7200.00'	0°28'58"	N 07°01'07" E

PLAT DATA				
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING
C1	50'	3630.00'	0°48'30"	N 04°04' E
C2	50'	7200.00'	0°28'58"	N 06°38' E

SITE LOCATION



SCALE: N.T.S.

FLOOD VENT TABLE

DESCRIPTION	SQ. FT.
GARAGE ENCLOSURE*	2691
FLOOD VENT RATING	200 SQ. FT. PER VENT
TOTAL VENTS REQ'D	14 VENTS

*NOTE: ONLY 1 ENCLOSURE EXISTS AT GARAGE LEVEL. ALL REMAINING AREAS BELOW GFE ARE OPEN TO EXT. FLOOD VENTS SHOWN ON 1ST FLOOR PLAN.
SMART FLOOD VENT FL PRODUCT APPROVAL # 5822
Per FCR R322.3.1-R322.3.7, COT 5-111 / NFP 44 CFR 60.3.c.5.

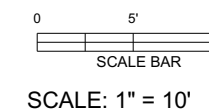
BUILDING SETBACK & HEIGHT DATA

AREA	ALLOWED	ACTUAL
FRONT MIN.	25.0'	31.7'
SIDE MIN.	7.0'	7.1'
REAR MIN.	20.0'	33.4**
BLDG. HEIGHT	35.0'	33.4**

**PER SEC. 27-161 MEASURED PERPENDICULAR TO THE CENTERLINE OF THE SEAWALL.
**MEASURED FROM D.F.E. TO TOP OF STRUCTURE, PER COT

LOT COVERAGE AREA			
AREA	SQ. FT.	FACTOR	IMPERVIOUS
TOTAL LOT	9344		
MAIN BUILDING, PORCHES	4272	1	4272
A/C PADS (W/ OR ROOFTOP)	0	1	0
DRIVEWAY/WALKWAY PAVERS	1350	1	1350
POOL DECKING PAVERS	708	1	708
POOL & SPA	492	0	0
POOL EQUIPMENT PADS	18	1	18
POOL & SPA COPING	110	1	110
TOTAL IMPERVIOUS - SQ. FT.			6458
TOTAL LOT - SQ. FT.			9344
TOTAL GREENSPACE			30.9%

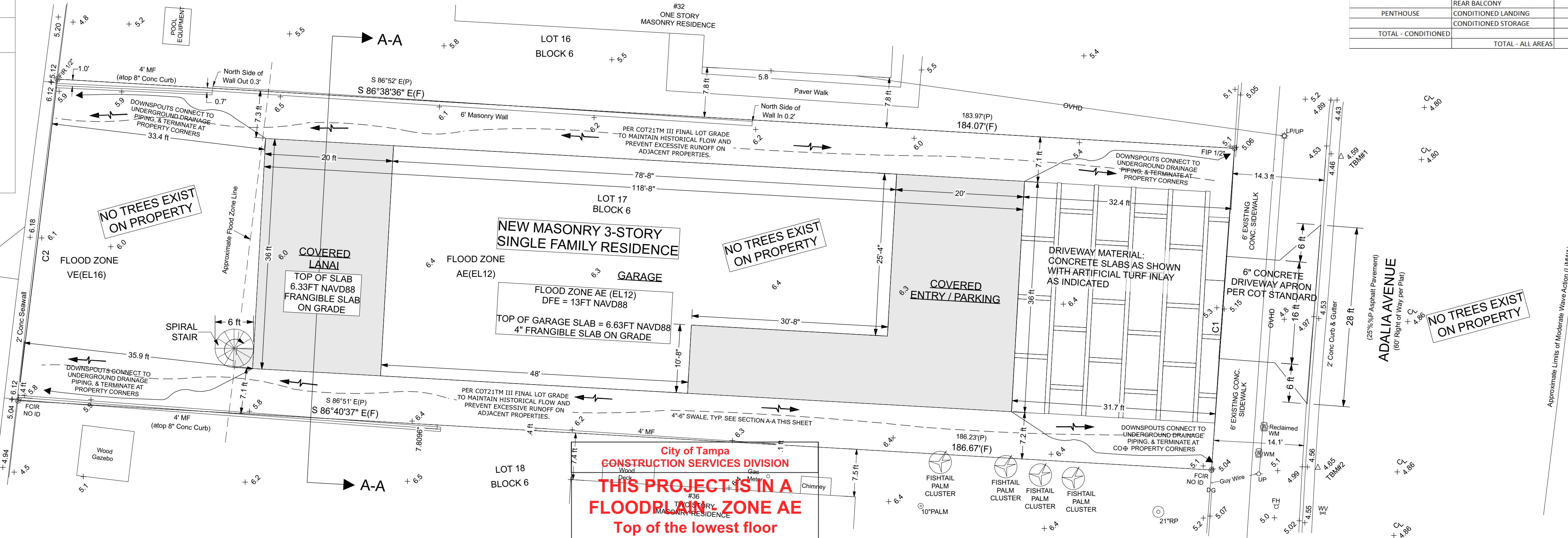
SQUARE FOOTAGE	
GROUND FLOOR	GARAGE 2595
	COVERED PARKING - EXTERIOR 472
	COVERED ENTRY - EXTERIOR 530
	COVERED REAR LANAI 720
2ND FLOOR	CONDITIONED LIVING 3432
	FRONT PORCH/BALCONY 342
	REAR BALCONY 361
3RD FLOOR	CONDITIONED LIVING 3437
	BED & COVERED BALCONY 89
	REAR BALCONY 361
PENTHOUSE	CONDITIONED LANDING 153
	CONDITIONED STORAGE 44
TOTAL - CONDITIONED	7066
TOTAL - ALL AREAS	12446



City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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MEAN HIGH WATER LINE NOTES:
1) MEAN HIGH WATER LINE WAS NOT LOCATED PER THIS SURVEY HOWEVER, THE MEAN HIGH-WATER LINE IS SUBJECT TO CHANGE WITH RESPECT TO THE LEGAL EFFECTS OF ACCRETION, RELICTION, EROSION, OR AVULSION AS PER CHAPTER 177.28, FLORIDA STATUTES FLORIDA COASTAL MAPPING ACT OF 1974.
NOTE: RIPARIAN OR LITTORAL RIGHTS HAVE NOT BEEN ADDRESSED OR DETERMINED AS A PART OF THIS SURVEY.



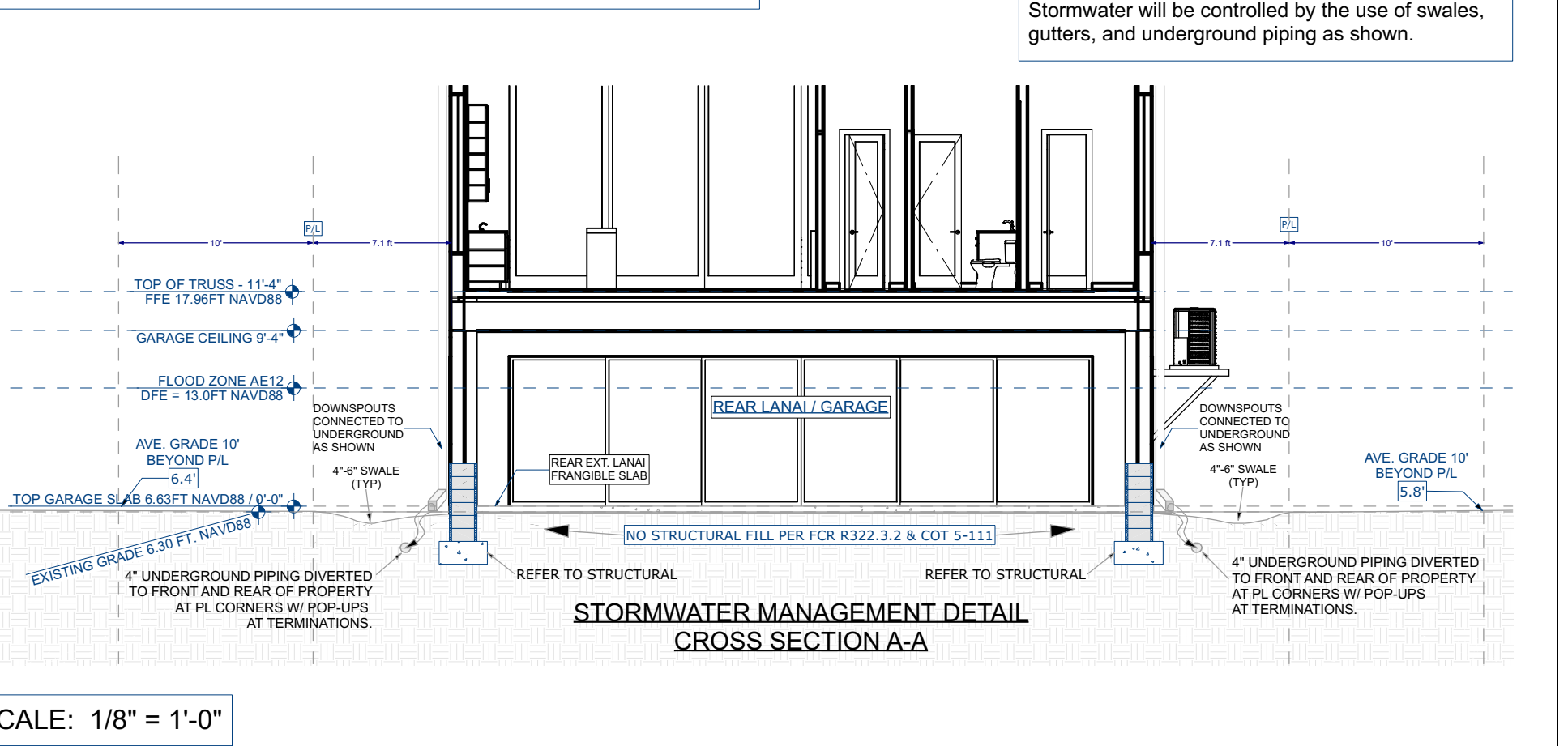
SURVEYORS NOTES

- LEGAL DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
- THIS SURVEY NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA SURVEYOR AND MAPPER. REPRODUCTION OF THIS SURVEY IS EXPRESSLY FORBIDDEN.
- NO UNDERGROUND IMPROVEMENTS LOCATED UNLESS OTHERWISE SHOWN. DISCREPANCIES BETWEEN PROPERTY LINES OF ADJOINING PARCELS NOT VERIFIED UNLESS OTHERWISE SHOWN.
- BEARINGS SHOWN REFERENCE THE WEST RW LINE OF ADALIA AVENUE, SAID BEARING IS N 04°04'00" E, (PLAT).
- THE FIELD SURVEYED SITE APPEARS TO BE IN FLOOD ZONES "AE(EL12)" & "VE(EL16)" ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP OF HILLSBOROUGH COUNTY, FLORIDA AND INCORPORATED AREAS MAP NUMBER 120570302S2, EFFECTIVE DATE: 10-7-2021. THE SIGNING SURVEYOR AND MAPPER HEREON ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS ZONE DETERMINATION. THE PRESIDENT OF THE MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAS JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCES MAP STATES IN THE NOTES TO THE USER THAT: "THIS MAP IS FOR INSURANCE PURPOSES ONLY."
- FEMA FLOOD HAZARD MAPPING: THIS PRODUCT WAS NOT DESIGNED TO MAKE PRECISE INOUT FLOOD RISK DETERMINATIONS. THIS PRODUCT IS NOT SUITABLE FOR ENGINEERING APPLICATIONS AND CANNOT BE USED TO DETERMINE ABSOLUTE DELINEATIONS OF FLOOD BOUNDARIES.
- PROPERTY OWNER SHOULD OBTAIN WRITTEN FLOOD ZONE DETERMINATION FROM OUR LOCAL PERMITTING, PLANNING AND BUILDING DEPARTMENT PRIOR TO ANY CONSTRUCTION PLANNING AND/OR CONSTRUCTION.
- UNLESS OTHERWISE SHOWN, ENCROACHMENTS OF UNDERGROUND UTILITIES, WALL FOOTINGS, ETC. WERE NOT RECOGNIZED IN THE FIELD. ALSO, FENCES AS SHOWN ARE NOT TO SCALE. OWNERSHIP OF FENCES AND/OR WALLS (IF PRESENT) ARE NOT FIELD DETERMINED.
- RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN INTENDED, WITHOUT WRITTEN VERIFICATION FROM THE RE-USERS, IS PROHIBITED. SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR, NOTHING HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO ON THIS SURVEY.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY WAS PERFORMED USING THE TRANSIT AND TAPE SURVEY METHOD AND CHECKED BY MATHEMATICAL TRANSVERSE CLOSURE AND REDUNDANT MEASUREMENTS TO CORNERS THAT COULD NOT BE OCCUPIED WITH AN INSTRUMENT. THE CALCULATED MATHEMATICAL CLOSURE MEETS OR EXCEEDS THE CLOSURE REQUIREMENTS SET FORTH IN FLORIDA ADMINISTRATIVE CODE SJ-17.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THE UNDERSIGNED MAKES NO GUARANTEE AS TO THE EXISTENCE, SIZE OR LOCATION OF SETBACK LINES, RIGHTS OF WAY, EASEMENTS, AGREEMENTS OR SIMILAR MATTERS.
- THE TREES SHOWN HEREON WERE LOCATED USING METHODS ADEQUATE FOR THEIR ACCURATE LOCATION AND IDENTIFICATION. HOWEVER, THIS COMPANY AND THE SIGNING SURVEYOR RESERVES THE RIGHT TO VERIFY LOCATION OF ALL TREES CRITICAL TO THE DESIGN OF PERMANENT IMPROVEMENTS SUCH AS BUILDINGS AND PARKING LOTS. IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL TO INFORM THIS COMPANY AND/OR THE SIGNING SURVEYOR OF ANY TREES CRITICAL TO THEIR DESIGN SO THAT THOSE TREES CAN BE VERIFIED PRIOR TO DESIGN COMPLETION.
- ELEVATIONS SHOWN REFERENCE CITY OF TAMPA BENCHMARK HY-02 0178, HAVING A REPORTED ELEVATION OF 5.978 FEET, (NAVD1988).

SITE PLAN NOTES

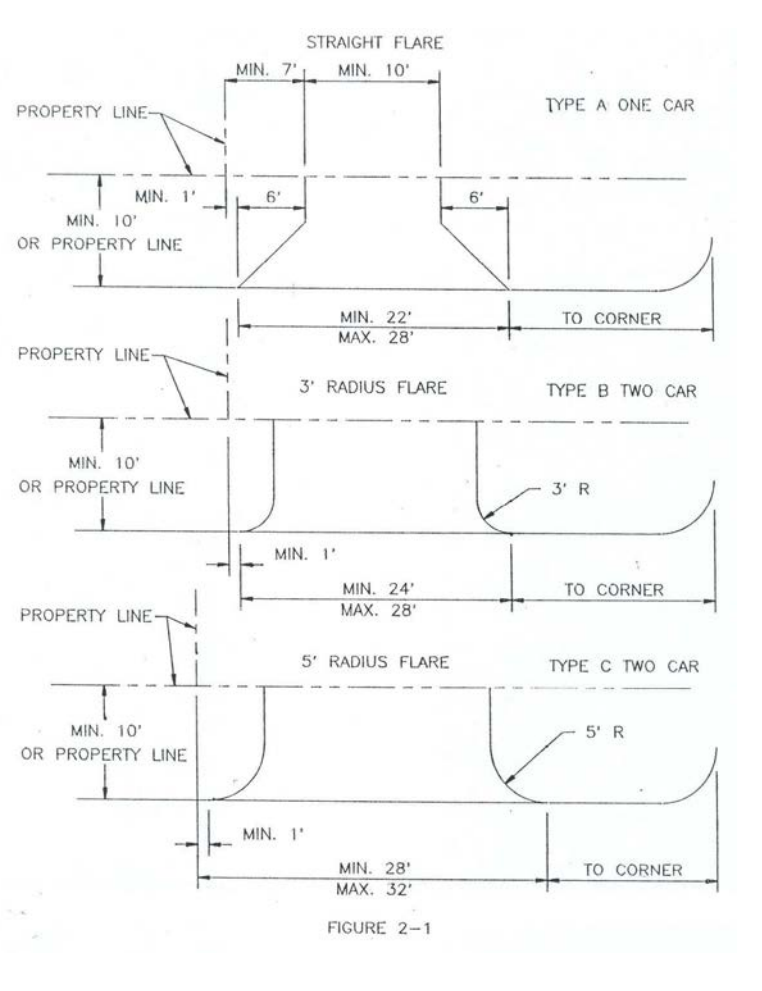
- Protective barricades shall be placed around all protected trees and grand trees during site clearing to create a protective root zone and shall remain in place until land alteration, site clearing and construction activities are complete. Barricades for the protective root zone shall be erected § 13-111 TAMPA CODE Supp. No. 80 862 at a minimum distance of ten (10) feet from the edge of trunk of protected trees and twenty (20) feet from the edge of trunk of grand trees. REFER TO CITY OF TAMPA TREE PROTECTION STANDARDS: Sec. 13-164.
- Silt fence / erosion control must be installed along property line and maintained during the course of construction, per City of Tampa stormwater technical guidelines.
- A minimum distance of ten (10) feet from all protected trees and twenty (20) feet from all grand trees shall be maintained when installing underground utilities. If this results in unreasonable hardship, a soil auger shall be used to tunnel under the root systems.
- Installation of artificial barriers such as protective barricades, fences, posts or walls shall not destroy or irreversibly harm the root system of protected trees and grand trees. Footers for walls shall end at the point where larger roots are encountered, and the roots shall be bridged. Post holes and trenches located close to protected trees or grand trees shall be adjusted to avoid damage to major roots. Foundation Encroachment: Footings shall bridge larger roots. Adjust postholes and trenches to avoid damage.
- All roots to be removed during the site clearing phase shall be severed clean at the perimeter of the designated protective root zone.
- A two-inch layer of mulch shall be applied over the surface of exposed roots of protected trees and grand trees during the site clearing phase.
- A protective dry well and drainage/aeration system shall be provided where protected trees or grand trees will be adversely affected by raising the grade. A protective retaining wall shall be constructed at the perimeter of the protective root zone around a protected tree or grand tree where the protected tree or grand tree will be adversely affected by lowering the grade.
- All trimming of protected trees and grand trees during development shall be done by a qualified, licensed tree service in coordination with the City of Tampa Parks Dept.
- No fill is to be added to site outside of building footprint, other than for driveway/landscape grading to divert water away from structure.
- All roof rainwater to be collected via gutters & downspouts and directed away from foundation. Stormwater runoff to be directed to the front and rear yard via swale and/or underground piping. See plan detail.
- Per COT21TM III F Lot grade to maintain historical flow and prevent excessive runoff on adjacent properties.
- DFE 13.0FT MIN. NAVD - BOTTOM OF LOWEST HORIZONTAL MEMBER.

STORMWATER MANAGEMENT DETAIL SECTION A-A



SCALE: 1/8" = 1'-0"

CITY OF TAMPA RESIDENTIAL DRIVEWAY STANDARD



ADDRESS: 34 ADALIA AVE, TAMPA, FL 33606

BOUNDARY SURVEY

(SHOWING ELEVATIONS AND TREE LOCATIONS)

OFFICE	REVISIONS	Prepared For:
DATE	BY:	DESCRIPTION

DATE OF FIELD SURVEY: 1-20-2022

BOSS & MENNIE

City of Tampa
CONSTRUCTION SERVICES DIVISION
ENGINEER SEAL
BLD-22-0492973 7/21/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES. It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division. The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes REVIEWED FOR CODE COMPLIANCE

THIS FEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SANGU P. DEAN, P.E. ON 07/21/2022 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM
BOSS & MENNIE
LUXURY HOME BUILDERS
100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695
CGC1256191

PROJECT ADDRESS
PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
	1	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION

SITE PLAN

PERMIT NUMBER

CITY OF TAMPA:
BLD-22-0492973

SCALE:

1" = 10'

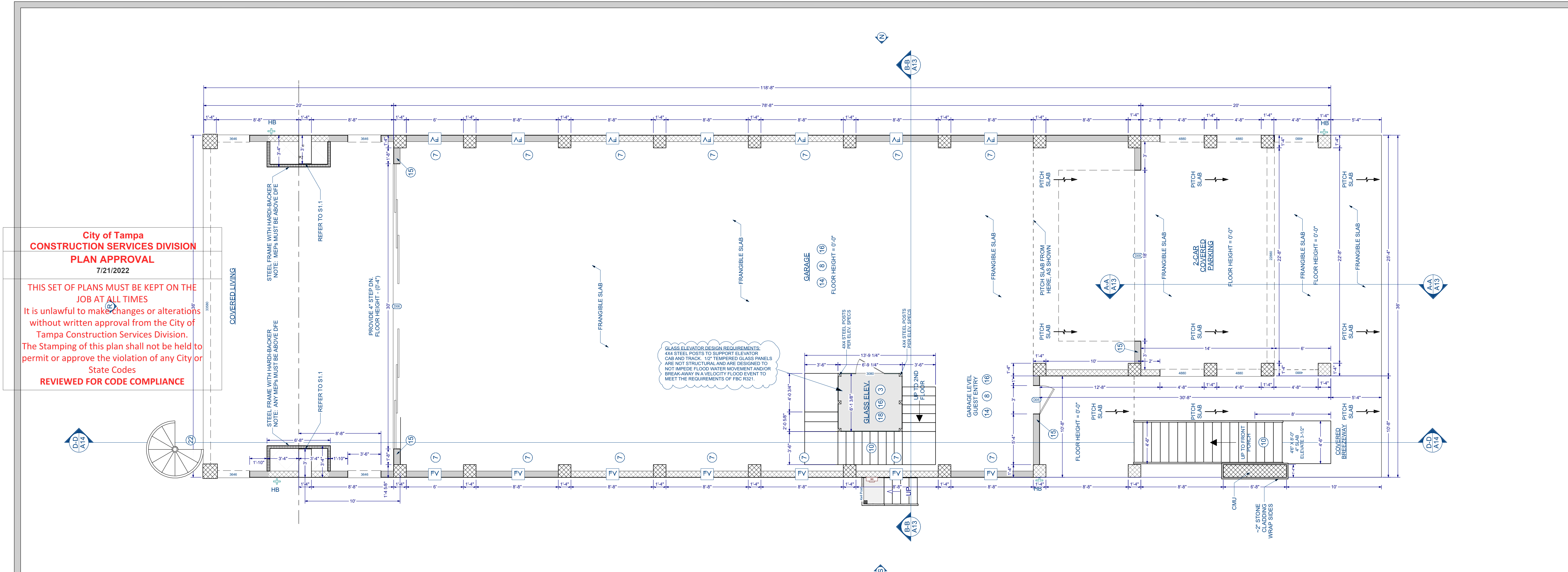
SHEET:

A-4

Job No.: 22-002

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

REVISIONS	NO.	DESCRIPTION	DATE
	1	PLAN REVIEW REVISIONS	07/07/22



City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
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REVIEWED FOR CODE COMPLIANCE

City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A FLOODPLAIN ZONE A
Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

CD SYMBOL	WALL TYPE	DESCRIPTION	WALL SCHEDULE
[Symbol]	CBS GARAGE	8" CMU - 5/8" STUCCO SAND FINISH BOTH SIDES	W01
[Symbol]	EXT 2X4 METAL FRAME	2X4 STEEL STUD FRAMING 16" O.C. WITH 1/2" CONCRETE BACKER BOARD INSTALLED OVER FRAMING FOR TILE APPLICATION. TILE INSTALLER MUST PROVIDE WATER PROOFING OVER BACKER BOARD PRIOR TO TILE INSTALLATION.	W02
[Symbol]	CBS	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO EXTERIOR SIDE. 1X2 FURRING 16" O.C. APPLIED TO INTERIOR SIDE WITH FIBROIL INSULATION COVERED IN 1/2" SHEETROCK WITH LEVEL 5 DRYPAN WALL FINISH.	W03
[Symbol]	CBS GARAGE	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO EXTERIOR SIDE. 1X2 FURRING 16" O.C. APPLIED TO INTERIOR SIDE WITH FIBROIL INSULATION COVERED IN 1/2" SHEETROCK WITH LEVEL 5 DRYPAN WALL FINISH.	W04
[Symbol]	CBS PARAPET WALL	8" CMU WALL FULLY BRIDGED - 5/8" STUCCO SAND FINISH BOTH SIDES - ATTACHED TO PERMANENT CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.	W05
[Symbol]	GLASS SHOWER	3/8" FRAMELESS SHOWER GLASS INSTALLED OVER SHOWER CURB. BUILT FROM (2) 2X4 PT. WATERPROOFED BY TILE INSTALLER & WRAPPED IN TILE W/ SCHLUTER TRIM. PITCH CURB TOWARDS SHOWER INTERIOR.	W06
[Symbol]	STAINLESS STEEL TUBE CABLE RAILING SYSTEM	STAINLESS STEEL TUBE RAILINGS WITH POWDER COATED ALUMINUM STANCHIONS AND RAILS. ENSURE ADEQUATE FASTENER DEPTH FOR ALL STANCHION CONNECTIONS.	W07
[Symbol]	INTERIOR-4	2X4 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.	W08
[Symbol]	INTERIOR FRAME WALL W/ LEDGESTONE CLADDING	2X4 FRAMED WALL WITH STUDS 16" O.C. COVERED IN 1/2" CONCRETE BACKERBOARD WITH LEDGESTONE FINISH. COORDINATE ALL M.E.P.S 100% PRIOR TO APPLYING LEDGESTONE.	W09
[Symbol]	2X WALL FOR POCKET DOOR	2X4 WALL WITH STUDS SPACED 16" O.C. STUDS TURNED FLAT TO COVER EACH SIDE OF POCKET DOOR	W10
[Symbol]	2X6 EXTERIOR FRAMED WALL WITH STUCCO FINISH	2X6 EXT. FRAMED WALL WITH STUDS SPACED 16" O.C. COVERED ON THE EXTERIOR WITH 1/2" PLY SHEATHING, HOUSE WRAP, ASPHALT BACKED PAPER (WIRE MESH) AND APPROX. 7/8" STUCCO WITH SAND FINISH. FINISH INTERIOR SIDE WITH 3" OPEN CELL FOAM AND 1/2" DRYWALL W/ LEVEL 5 FINISH.	W11
[Symbol]	INTERIOR-6	2X6 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.	W12
[Symbol]	STUCCO CLAD FRAMED AREA	FRAMED AREA WITH 1/2" SHEATHING + HOUSE WRAP + ASPHALT BACKED PAPER + 3/4" STUCCO + PAINT	W13
[Symbol]	CBS BREAK-AWAY	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANENT CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.	W14

ID	LOCATION	QTY	SIZE	M/C	DESCRIPTION	MANUFACTURER	FL PROD APPROVAL #	HT	DR
W01	2ND FLOOR STAIRWELL	2	8070	75	1/2" X 2 1/2" 1/2"	MULLED UNIT	KOLBE	22242	22235
W02	3RD FLOOR STAIRWELL	2	8070	75	1/2" X 2 1/2" 1/2"	MULLED UNIT	KOLBE	22242	22235
W03	3RD FLOOR STAIRWELL	2	8070	75	1/2" X 2 1/2" 1/2"	MULLED UNIT	KOLBE	22242	22235
W04	BATH 2	1	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W05	BATH 5	1	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W06	BATH 6	3	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W07	BEDROOM 1 / OFFICE	1	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W08	BEDROOM 2 / OFFICE	3	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W09	BEDROOM 5	1	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W10	BEDROOM 9	1	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W11	FOREY RMT LOUNGE / DINING RM.	6	4050P	61	62 X 90 X 1/2"	FIXED GLASS	KOLBE	22242	22235
W12	JR MASTER BATH	1	2020P	27	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W13	JR MASTER BEDROOM	1	2620SC	33	1/2" X 2 1/2" 1/2"	VHS	SINGLE CASIMENT PH	KOLBE	22242
W14	JR MASTER BEDROOM	1	2620SC	33	1/2" X 2 1/2" 1/2"	VHS	SINGLE CASIMENT PH	KOLBE	22242
W15	LAUNDRY	1	2642P	33	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W16	MASTER BEDROOM	2	3026P	39	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W17	MASTER DEN	1	3026P	39	1/2" X 2 1/2" 1/2"	FIXED GLASS	KOLBE	22242	22235
W18	PENTHOUSE	4	8070	75	1/2" X 2 1/2" 1/2"	MULLED UNIT	KOLBE	22242	22235

NUMBER	LOCATION	SIZE	M/C	DESCRIPTION	MANUFACTURER	FL PROD APPROVAL #
001	BEDROOM 1 SGD	8090 R EX	86"X111"	EXT. SLIDER GLASS PANEL	EURO WALL	21179
002	BEDROOM 2 SGD	8090 L EX	86"X111"	EXT. SLIDER GLASS PANEL	EURO WALL	21179
003	BEDROOM 5 SGD	8090 L EX	86"X97"	EXT. SLIDER GLASS PANEL	EURO WALL	21179
004	FRONT DOOR	60100 L EX	78"X124"	PIVOT DOOR	EURO WALL	22410
005	GARAGE LEVEL HINGED DOOR	3080 R W	38" X 98" 1/2"	HINGED GLASS PANEL	ES-EL-300 SERIES	22501
006	GARAGE LEVEL SGD	3090 L EX	38" X 99"	EXT. 3+1 PANEL SLIDER GLASS PANEL	EURO WALL	21179
007	LOUNGE / GREAT ROOM SGD	300110 L EX	382" X 145"	EXT. 3+1 PANEL SLIDER GLASS PANEL	EURO WALL	21179
008	MASTER SUITE SGD	30010 L EX	382" X 121"	EXT. 3+1 PANEL SLIDER GLASS PANEL	EURO WALL	21179
009	OVERHEAD GARAGE DOOR	18600	216" X 96"	FRUSTED GLASS PANELS - AVANTE SERIES	CLORAY	
010	PENTHOUSE HINGED DOOR	3070 R EX	38" X 87"	EXT. HINGED GLASS PANEL	ES-EL-300 SERIES	22501

NUMBER	QTY	DOOR	DESCRIPTION	REV	TOP	BOTTOM	COMMENTS
G01	1	2	WALL NICHE	14	12" X 18"	52"	36"
G02	3	3	WALL NICHE	14	12" X 18"	52"	36"
G03	1	3	WALL NICHE	24	X 36"	172"	36"

- NOTE SCHEDULE**
- ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36IN. AFF.
 - ROOM HAS NO CLOSET. BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM. AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
 - ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE. NOT ATTACHED TO BREAK-AWAY WALLS. NOR ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPED THE BREAK-AWAY FUNCTION.
 - CAST IN PLACE CONCRETE FLOOR STRUCTURE. REFER TO STRUCTURAL PLAN SET FOR DETAILS.
 - CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
 - CMU WALL COLUMN WITH TILESTONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
 - FLOOD VENT - SMARTVENT FL PA #6922.3 (MODEL #1540-503) RATED FOR 300 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
 - GARAGE CEILING UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8" TYPE X DRYWALL FINISH FOR FIRE RATING.
 - HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
 - MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
 - PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
 - PER FBC R302.5.1 - DWELLING-GARAGE OPENING PROTECTION. OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
 - PLANTER, STUCCO SAND FINISH
 - PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
 - REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
 - REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
 - SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
 - SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1CSA B44. 2019. ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
 - STUCCO SAND FINISH
 - TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
 - STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
 - 8" DIA. ALUMINUM SPIRAL STAIRCASE. POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
 - INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 80", WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

THIS PERMIT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAUL P. DEAN, P.E. ON 07/21/2022 USING A SIGNATURE AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM

BOSS & MENNIE
 LUXURY HOME BUILDERS
 100 MAIN ST SUITE 200
 SAFETY HARBOR, FL 34695
 CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE
 34 ADALIA AVE.
 TAMPA, FL 33606

NO.	DESCRIPTION	DATE
1	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION

2ND FLOOR PLAN

PERMIT NUMBER

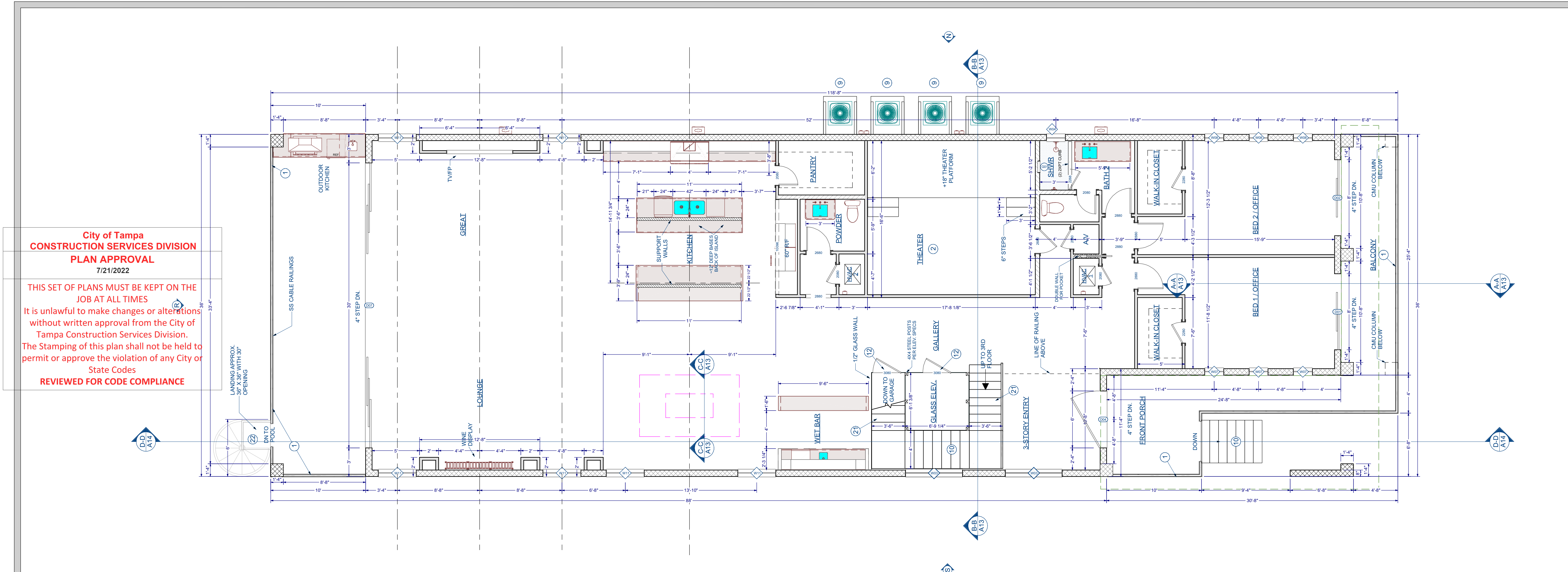
CITY OF TAMPA:
 BLD-22-0492973

SCALE:

3/16"

SHEET:

A-6



City of Tampa
 CONSTRUCTION SERVICES DIVISION
 PLAN APPROVAL
 7/21/2022
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City of Tampa
 CONSTRUCTION SERVICES DIVISION

THIS PROJECT IS IN A FLOODPLAIN ZONE AND Top of the lowest floor Required to be at or above the Design Flood Elevation (DFE)

CD SYMBOL	WALL TYPE	DESCRIPTION	WALL SCHEDULE
[Symbol]	CBS GARAGE	8" CMU - 5/8" STUCCO SAND FINISH BOTH SIDES	
[Symbol]	EXT 2X4 METAL FRAME	2X4 STEEL STUD FRAMING 16" O.C. WITH 1/2" CONCRETE BACKER BOARD INSTALLED OVER FRAMING FOR TILE APPLICATION. TILE INSTALLER MUST PROVIDE WATER PROOFING OVER BACKER BOARD PRIOR TO TILE INSTALLATION.	
[Symbol]	CBS	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO EXTERIOR SIDE. 1X2 FURRING 16" O.C. APPLIED TO INTERIOR SIDE WITH FIBROIL INSULATION COVERED IN 1/2" SHEETROCK WITH LEVEL 5 DRYWALL FINISH.	
[Symbol]	CBS GARAGE	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANENT CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.	
[Symbol]	CBS PARAPET WALL	8" CMU WALL FULLY BRIDGED - 5/8" STUCCO SAND FINISH BOTH SIDES - ATTACH TO FRAMED RELATIVE TO TOP OF CURB WALL & FINISH W/ ALUM. CAP W/ 2" MIN. DOWN LEG + DRIP FLARE. PAINTED FINISH TO MATCH WALL COLOR. FASTEN CAP VIA STRUCTURAL CONSTRUCTION ADHESIVE + COLOR MATCHED NEOPRENE WASHER FASTENERS ON SIDE LEGS.	
[Symbol]	GLASS SHOWER	3/8" FRAMELESS SHOWER GLASS INSTALLED OVER SHOWER CURB. BUILT FROM (2) 2X4 PT. WATERPROOFED BY TILE INSTALLER & WRAPPED IN TILE W/ SCHLUTER TRIM. PITCH CURB TOWARDS SHOWER INTERIOR.	
[Symbol]	STAINLESS STEEL TUBE CABLE RAILING SYSTEM	STAINLESS STEEL TUBE RAILINGS WITH POWDER COATED ALUMINUM STANCHIONS AND RAILS. ENSURE ADEQUATE FASTENER DEPTH FOR ALL STANCHION CONNECTIONS.	
[Symbol]	INTERIOR-4	2X4 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.	
[Symbol]	INTERIOR FRAME WALL W/ LEDGESTONE CLADDING	2X4 FRAMED WALL WITH STUDS 16" O.C. COVERED IN 1/2" CONCRETE BACKERBOARD WITH LEDGESTONE FINISH. COORDINATE ALL M.E.P.S. 100% PRIOR TO APPLYING LEDGESTONE.	
[Symbol]	2X WALL FOR POCKET DOOR	2X4 WALL WITH STUDS SPACED 16" O.C. STUDS TURNED FLAT TO COVER EACH SIDE OF POCKET DOOR	
[Symbol]	2X6 EXTERIOR FRAMED WALL WITH STUCCO FINISH	2X6 EXT. FRAMED WALL WITH STUDS SPACED 16" O.C., COVERED ON THE EXTERIOR WITH 1/2" PLY SHEATHING, HOUSE WRAP, ASPHALT BACKED PAPER (WIRE MESH) AND APPROX. 7/8" STUCCO WITH SAND FINISH. FINISH INTERIOR SIDE WITH 3" OPEN CELL FOAM AND 1/2" DRYWALL W/ LEVEL 5 FINISH.	
[Symbol]	INTERIOR-6	2X6 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.	
[Symbol]	STUCCO CLAD FRAMED AREA	FRAMED AREA WITH 1/2" SHEATHING + HOUSE WRAP + ASPHALT BACKED PAPER + 3/4" STUCCO + PAINT	
[Symbol]	CBS BREAK-AWAY	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANENT CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.	

ID	LOCATION	QTY	SIZE	M/O	DESCRIPTION	MANUFACTURER	FL PROD. APPROVAL #	HDR HT.
W01	2ND FLOOR STAIRWELL	2	6070	75.17'x287.12"	MULLED UNIT	KOHLER	22242/22243	136"
W02	3RD FLOOR STAIRWELL	2	6070	75.17'x287.12"	MULLED UNIT	KOHLER	22242/22243	136"
W03	3RD FLOOR STAIRWELL	2	6070	75.17'x287.12"	MULLED UNIT	KOHLER	22242/22243	136"
W04	BATH 2	1	6026FX	27.12'x27.12"	FIXED GLASS	KOHLER	22242/22243	86"
W05	BATH 3	1	6026FX	27.12'x27.12"	FIXED GLASS	KOHLER	22242/22243	86"
W06	BATH 4	1	6026FX	27.12'x27.12"	FIXED GLASS	KOHLER	22242/22243	100"
W07	BEDROOM 1 / OFFICE	3	6026FX	27.12'x27.12"	FIXED GLASS	KOHLER	22242/22243	100"
W08	BEDROOM 2 / OFFICE	3	6026FX	27.12'x27.12"	FIXED GLASS	KOHLER	22242/22243	100"
W09	BEDROOM 3	1	6026SS	39.12'x75.12"	YES	SINGLE CASUMENT HR	22242/22243	100"
W10	BEDROOM 4	1	6026SS	39.12'x75.12"	YES	SINGLE CASUMENT HR	22242/22243	100"
W11	GRAY RMT / COUNTR / DINING RM	6	6026FX	11.12'x26.88"	FIXED GLASS	KOHLER	22242/22243	80"
W12	JR MASTER BATH	1	6026FX	27.12'x27.12"	FIXED GLASS	KOHLER	22242/22243	86"
W13	JR MASTER BEDROOM	1	6026SS	33.12'x26.12"	YES	SINGLE CASUMENT HR	22242/22243	86"
W14	JR MASTER BEDROOM	1	6026SS	33.12'x26.12"	YES	SINGLE CASUMENT HR	22242/22243	86"
W15	LAUNDRY	1	6042FX	33.12'x23.12"	FIXED GLASS	KOHLER	22242/22243	86"
W16	MASTER BEDROOM	2	6026FX	39.12'x26.88"	FIXED GLASS	KOHLER	22242/22243	86"
W17	MASTER DEN	1	6026FX	39.12'x26.88"	FIXED GLASS	KOHLER	22242/22243	86"
W18	PENTHOUSE	4	6070	75.17'x287.12"	MULLED UNIT	KOHLER	22242/22243	106"

NUMBER	LOCATION	SIZE	M/O	DESCRIPTION	MANUFACTURER	FL PROD. APPROVAL #
D01	BEDROOM 1 SGD	20'0" R EX	26" X11"	EXT. SLIDER GLASS PANEL	EURO WALL	21179
D02	BEDROOM 2 SGD	8'0" L EX	86" X11"	EXT. SLIDER GLASS PANEL	EURO WALL	21179
D03	BEDROOM 6 SGD	8'0" L EX	86" X9"	EXT. SLIDER GLASS PANEL	EURO WALL	21179
D04	FRONT DOOR	60'100" L EX	78" X124"	PIVOT DOOR	EURO WALL	22410
D05	GARAGE LEVEL HINGED DOOR	3'00" R IN	32" X38" 1/2"	HINGED GLASS PANEL	ES-LDO SERIES	22251
D06	GARAGE LEVEL SGH	3'00" L EX	32" X36"	EXT. 1-3 PANEL SLIDER GLASS PANEL	EURO WALL	21179
D07	LOUNGE / GREAT ROOM SGD	3'00" L101 R EX	52" X145"	EXT. 1-3 PANEL SLIDER GLASS PANEL	EURO WALL	21179
D08	MASTER SUITE SGD	3'00" L101 EX	52" X121"	EXT. 1-3 PANEL SLIDER GLASS PANEL	EURO WALL	21179
D09	OVERHEAD GARAGE DOOR	18'00"	218" X96"	FROSTED GLASS PANEL - AVANTE SERIES	CLORAY	
D10	PENTHOUSE HINGED DOOR	3'07" R EX	32" X37"	EXT. HINGED GLASS PANEL	ES-EL300 SERIES	22251

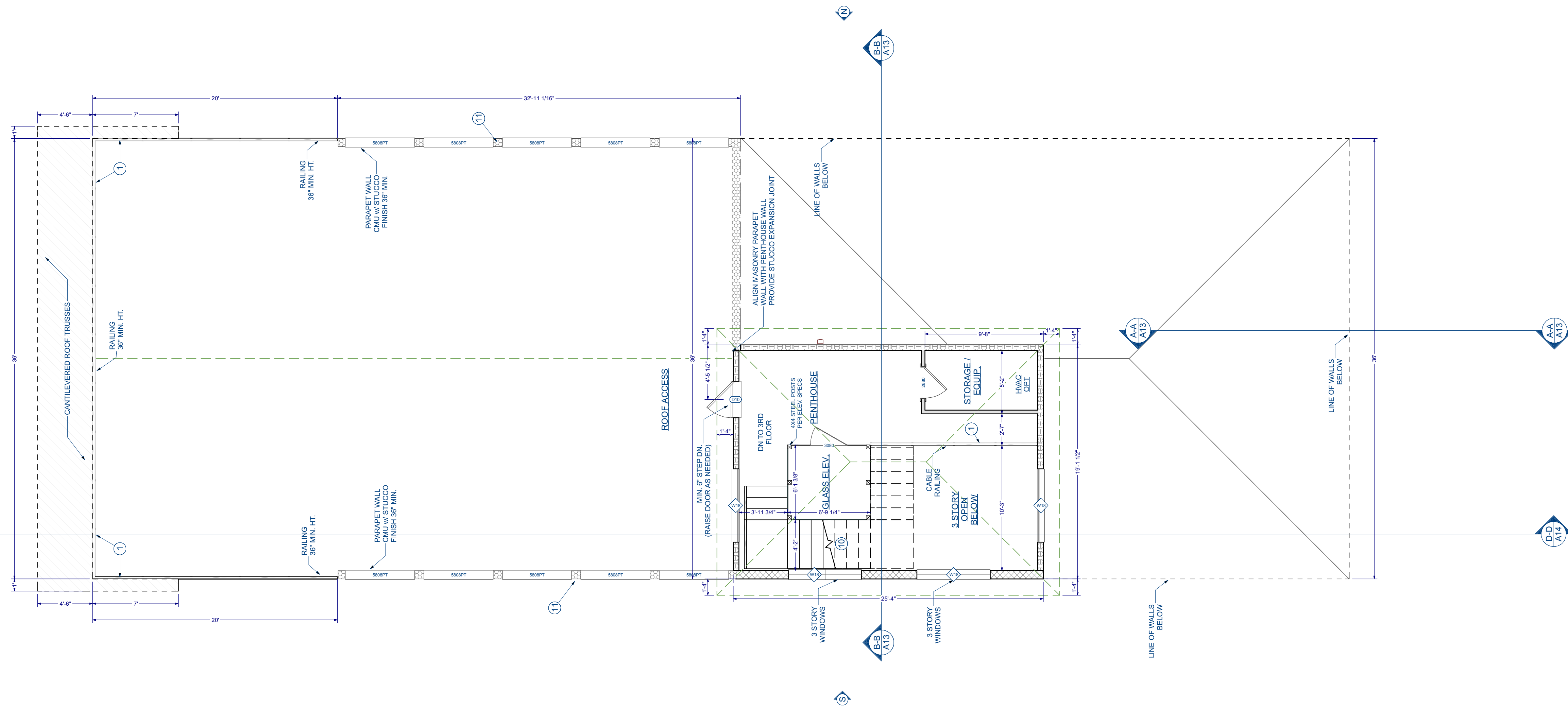
NUMBER	FLOOR	DESCRIPTION	R/W	T/O	BTOM COMMENTS
G01	1	WALL NICHE	14.12'x16"	52"	58"
G02	3	WALL NICHE	14.12'x16"	52"	58"
G03	1	WALL NICHE	24'x36"	172"	58"

- NOTE SCHEDULE**
- ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
 - ROOM HAS NO CLOSET. BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM. AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
 - ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE. NOT ATTACHED TO BREAK-AWAY WALLS, NOR ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION.
 - CAST IN PLACE CONCRETE FLOOR STRUCTURE. REFER TO STRUCTURAL PLAN SET FOR DETAILS.
 - CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
 - CMU WALL COLUMN WITH TILESTONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
 - FLOOD VENT: SMARTVENT FL PA #522.3 (MODEL #1540-S20). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
 - GARAGE CEILING UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8" TYPE "X" DRYWALL FINISH FOR FIRE RATING.
 - HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
 - MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
 - PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
 - PER FBC R302.5.1 - DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
 - PLANTER, STUCCO SAND FINISH
 - PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
 - REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
 - REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0 FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
 - SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
 - SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1CSA B44. PER FEMA TB-4, 2010. ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
 - STUCCO SAND FINISH
 - TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
 - STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
 - 6" DIA. ALUMINUM SPIRAL STAIRCASE, POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
 - INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 80", WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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REVIEWED FOR CODE COMPLIANCE



City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A
FLOODPLAIN - ZONE A
Top of the lowest floor
required to be at or above the
Design Flood Elevation (DFE)

2D SYMBOL	WALL TYPE	DESCRIPTION	WALL SCHEDULE
[Symbol]	CBS GARAGE	8" CMU - 5/8" STUCCO SAND FINISH BOTH SIDES	
[Symbol]	EXT 2X4 METAL FRAME	2X4 STEEL STUD FRAMING 16" O.C. WITH 1/2" CONCRETE BACKER BOARD INSTALLED OVER FRAMING FOR TILE APPLICATION. TILE INSTALLER MUST PROVIDE WATER PROOFING OVER BACKER BOARD PRIOR TO TILE INSTALLATION.	
[Symbol]	CBS	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO EXTERIOR SIDE. 1X2 FURRING 16" O.C. APPLIED TO INTERIOR SIDE WITH FIBROIL INSULATION COVERED IN 1/2" SHEETROCK WITH LEVEL 5 DRYWALL FINISH.	
[Symbol]	CBS GARAGE	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANENT CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAKAWAY FUNCTION.	
[Symbol]	CBS PARAPET WALL	8" CMU WALL FULLY BRIDGED - 5/8" STUCCO SAND FINISH BOTH SIDES - ATTACH TO PERMANENT WALL WITH 1/2" DRYWALL WALL & FINISH W/ ALUM. CAP W/ 2" MIN. DOWN LEG + DRIP FLARE. PAINTED FINISH TO MATCH WALL COLOR. FASTEN CAP VIA STRUCTURAL CONSTRUCTION ADHESIVE + COLOR MATCHED NEOPRENE WASHER FASTENERS ON SIDE LEGS.	
[Symbol]	GLASS SHOWER	3/8" FRAMELESS SHOWER GLASS INSTALLED OVER SHOWER CURB. BUILT FROM (2) 2X4 PT. WATERPROOFED BY TILE INSTALLER & WRAPPED IN TILE W/ SCHLUTER TRIM. PITCH CURB TOWARDS SHOWER INTERIOR.	
[Symbol]	STAINLESS STEEL TUBE CABLE RAILING SYSTEM	STAINLESS STEEL TUBE RAILINGS WITH POWDER COATED ALUMINUM STANCHIONS AND RAILS. ENSURE ADEQUATE FASTENER DEPTH FOR ALL STANCHION CONNECTIONS.	
[Symbol]	INTERIOR-4	2X4 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.	
[Symbol]	INTERIOR FRAME WALL W/ LEDGESTONE CLADDING	2X4 FRAMED WALL WITH STUDS 16" O.C. COVERED IN 1/2" CONCRETE BACKERBOARD WITH LEDGESTONE FINISH. COORDINATE ALL M.E.P.S. 100% PRIOR TO APPLYING LEDGESTONE.	
[Symbol]	2X WALL FOR POCKET DOOR	2X4 WALL WITH STUDS SPACED 16" O.C. STUDS TURNED FLAT TO COVER EACH SIDE OF POCKET DOOR	
[Symbol]	2X6 EXTERIOR FRAMED WALL WITH STUCCO FINISH	2X6 EXT. FRAMED WALL WITH STUDS SPACED 16" O.C. COVERED ON THE EXTERIOR WITH 1/2" PLY SHEATHING, HOUSE WRAP, ASPHALT BACKED PAPER (WIRE MESH) AND APPROX. 7/8" STUCCO WITH SAND FINISH. FINISH INTERIOR SIDE WITH 3" OPEN CELL FOAM AND 1/2" DRYWALL W/ LEVEL 5 FINISH.	
[Symbol]	INTERIOR-6	2X6 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.	
[Symbol]	STUCCO CLAD FRAMED AREA	FRAMED AREA WITH 1/2" SHEATHING + HOUSE WRAP + ASPHALT BACKED PAPER + 3/4" STUCCO + PAINT	
[Symbol]	CBS BREAK-AWAY	8" CMU - 5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANENT CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAKAWAY FUNCTION.	

ID	LOCATION	QTY	SIZE	M/D	DESCRIPTION	MANUFACTURER	FL PROD. APPROVAL #	HDR HT.
W001	2ND FLOOR STAIRWELL	2	6070	75-12-287-12"	MULLED UNIT	KOLBE	22242-22255-138"	
W002	3RD FLOOR STAIRWELL	2	6070	75-12-287-12"	MULLED UNIT	KOLBE	22242-22255-159"	
W003	3RD FLOOR STAIRWELL	2	6070	75-12-287-12"	MULLED UNIT	KOLBE	22242-22255-228"	
W004	BATH 2	1	2020FX	21-12-271-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W005	BATH 5	1	2020FX	21-12-271-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W006	BATH 6	3	2020FX	21-12-271-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W007	BEDROOM 1 OFFICE	3	2020FX	21-12-271-12"	FIXED GLASS	KOLBE	22242-22255-150"	
W008	BEDROOM 2 OFFICE	3	2020FX	21-12-271-12"	FIXED GLASS	KOLBE	22242-22255-120"	
W009	BEDROOM 5	1	3020SC	31-12-269-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W010	BEDROOM 7	1	3020SC	31-12-269-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W111	GREAT RM / LOUNGE / DINING RM	6	4030FX	41-12-269-12"	FIXED GLASS	KOLBE	22242-22255-120"	
W12	JR. MASTER BATH	1	2020FX	17-12-271-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W13	JR. MASTER BEDROOM	1	2020SC	31-12-269-12"	YES	SINGLE CASERMENT HR	22242-22255-186"	
W14	JR. MASTER BEDROOM	1	2020SC	31-12-269-12"	YES	SINGLE CASERMENT HR	22242-22255-186"	
W15	LAUNDRY	1	2842FX	31-12-269-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W16	MASTER BEDROOM	2	3020FX	31-12-269-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W17	MASTER DEN	1	3020FX	31-12-269-12"	FIXED GLASS	KOLBE	22242-22255-186"	
W18	PENTHOUSE	4	6070	75-12-287-12"	MULLED UNIT	KOLBE	22242-22255-196"	

NUMBER	LOCATION	SIZE	M/D	DESCRIPTION	MANUFACTURER	FL PROD. APPROVAL #
001	BEDROOM 1 SGD	8050 R EX	88"X111"	EXT. SLIDER-GLASS PANEL	EURO WALL	21179
002	BEDROOM 2 SGD	8050 R EX	88"X111"	EXT. SLIDER-GLASS PANEL	EURO WALL	21179
003	BEDROOM 4 SGD	1030 L EX	88"X99"	EXT. SLIDER-GLASS PANEL	EURO WALL	21179
004	FRONT DOOR	60100 L EX	76"X124"	PIVOT DOOR	EURO WALL	22410
005	GARAGE LEVEL HINGED DOOR	3050 R IN	38"X98-1/2"	HINGED-GLASS PANEL	ES-EL300 SERIES	2255-1
006	GARAGE LEVEL SGD	30500 R EX	38"X98"	EXT. 3-3 PANEL SLIDER-GLASS PANEL	EURO WALL	21179
007	LOUNGE / GREAT ROOM SGD	302110 L EX	36"X148"	EXT. 3-3 PANEL SLIDER-GLASS PANEL	EURO WALL	21179
008	MASTER SUITE SGD	3230 L EX	36"X121"	EXT. 3-3 PANEL SLIDER-GLASS PANEL	EURO WALL	21179
009	OVERHEAD GARAGE DOOR	1830	216"X96"	FROSTED GLASS PANELS - AVANTE SERIES	GLOPAY	
010	PENTHOUSE HINGED DOOR	3070 R EX	38"X98"	EXT. HINGED-GLASS PANEL	ES-EL300 SERIES	2255-1

NUMBER	FLOOR	DESCRIPTION	R/O	TOP	BO1	COMMENTS
001	1	WALL NICHE	14	12"X16"	36"	
002	1	WALL NICHE	14	12"X16"	36"	
003	1	WALL NICHE	24	36"	72"	ADD MID SHELF. CUSTOM SIZE. WATERPROOFING BY TILE INSTALLER.

- NOTE SCHEDULE
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 - ROOM HAS NO CLOSET. BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM. AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
 - ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE, NOT ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION.
 - CAST IN PLACE CONCRETE FLOOR STRUCTURE. REFER TO STRUCTURAL PLAN SET FOR DETAILS.
 - CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
 - CMU WALL COLUMN WITH TILE/STONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
 - FLOOD VENT: SMARTVENT FL PA-8502-3 (MODEL #160-530). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
 - GARAGE CEILING UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8" TYPE "X" DRYWALL FINISH FOR FIRE RATING.
 - HYAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
 - MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
 - PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
 - PER FBC R302.5.1 - DWELLING-GARAGE OPENING PROTECTION. OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
 - PLANTER, STUCCO SAND FINISH
 - PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
 - REFER TO SECTION ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
 - REFER TO DETAIL R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
 - SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
 - SECTION R321 ELEVATORS. SHALL COMPLY WITH ASME A17.1CSA B44. PER FEMA TB-4, 2019, ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
 - STUCCO SAND FINISH
 - TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
 - STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
 - 8" DIA ALUMINUM SPIRAL STAIRCASE. POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
 - INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 80" WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

City of Tampa
CONSTRUCTION SERVICES DIVISION
ENGINEER SEAL
BLD-22-0492973 7/21/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
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The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes
REVIEWED FOR CODE COMPLIANCE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAUVEL P. DEAN, P.E. ON 07/20/2022 USING A DPA1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DPA1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM
BOSS & MENNIE
LUXURY HOME BUILDERS
100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695
CGC 1256191

PROJECT ADDRESS
PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
	1	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION
PENTHOUSE FLOOR PLAN

PERMIT NUMBER
CITY OF TAMPA:
BLD-22-0492973

SCALE:
3/16"

SHEET:
A-8

1st Floor

2nd Floor

3rd Floor

PENTHOUSE

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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City of Tampa
CONSTRUCTION SERVICES DIVISION

THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

ROOFING MATERIAL ALL ROOF LEVELS:
GAF LIQUID APPLIED ROOF SYSTEMS
FL PRODUCT APPROVAL 20663-R1
OR COMPARABLE

ROOF COVERAGE CALCULATIONS:

PER CITY OF TAMPA ARTICLE III SEC. 27-158 HEIGHT REGULATION:

MAXIMUM ROOF HEIGHT ALLOWED: 35.0 FT (MEASURED FROM DFE)
MAIN ROOF HEIGHT OF STRUCTURE: 31.3 FT (MEASURED FROM DFE)
--SEE ELEVATIONS--

PER ARTICLE III SEC. 27-158: EXCEPTIONS INCLUDE PENTHOUSES, STAIRWAYS, ELEVATOR HOUSINGS, PARAPET & CUPOLAS - TOTAL MUST BE LESS THAN 20% OF TOTAL ROOF.

TOTAL AREA 3925 S.F. (3RD FLOOR ROOF + PENTHOUSE)
PENTHOUSE 610 S.F. (PENTHOUSE ONLY)
CALCULATED EXCLUSION AREA %: 610 / 3925 = 15.5% (LESS THAN 20%)

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

City of Tampa
CONSTRUCTION SERVICES DIVISION
ENGINEER SEAL
BLD-22-0492973 7/21/2022

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DESIGN/BUILD FIRM

BOSS & MENNIE
LUXURY HOME BUILDERS
100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695
CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
	1	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION

ROOF PLAN

PERMIT NUMBER

CITY OF TAMPA:
BLD-22-0492973

SCALE:

3/16"

SHEET:

A-9

City of Tampa
CONSTRUCTION SERVICES DIVISION
ENGINEER SEAL
BLD-22-0492973 7/21/2022

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DESIGN/BUILD FIRM

BOSS & MENNIE
LUXURY HOME BUILDERS
100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695
CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
	1	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION

FRONT & REAR ELEVATIONS

PERMIT NUMBER

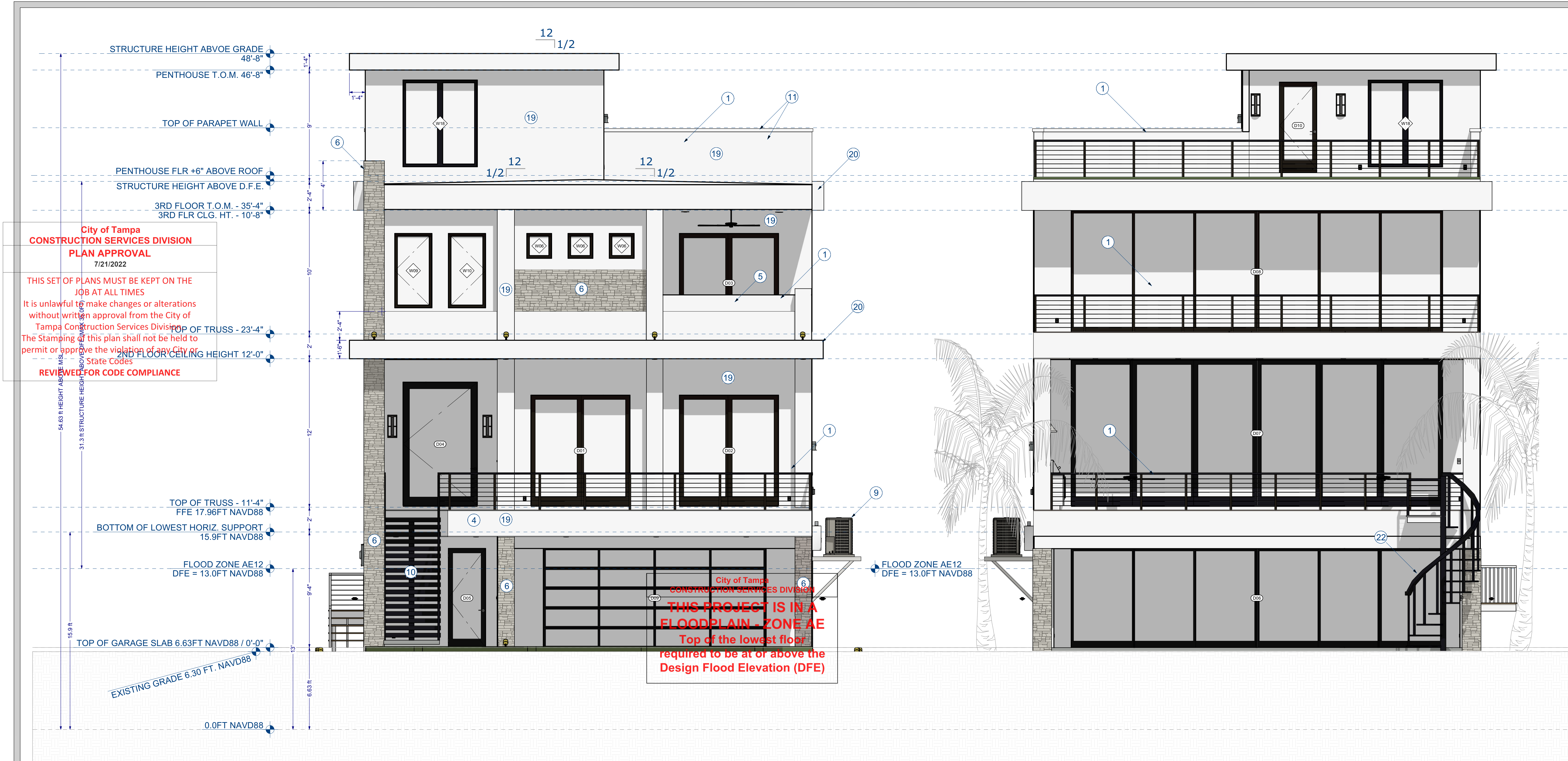
CITY OF TAMPA:
BLD-22-0492973

SCALE:

1/4"

SHEET:

A-10



City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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REVIEWED FOR CODE COMPLIANCE

City of Tampa
CONSTRUCTION SERVICES DIVISION

THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

ID	LOCATION	QTY	SIZE	MFO	EGRESS	DESCRIPTION	BRAND	FL PROD. APPROVAL #	HDR HT.
W01	INDOOR STAIRWELL	2	8070	75-12-287-12"		MULLED UNIT	KOLBE	22242-22235-136	
W02	3RD FLOOR STAIRWELL	2	8070	75-12-287-12"		MULLED UNIT	KOLBE	22242-22235-136	
W03	3RD FLOOR STAIRWELL	2	8070	75-12-287-12"		MULLED UNIT	KOLBE	22242-22235-136	
W04	BATH 1	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W05	BATH 2	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W06	BATH 3	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W07	BEDROOM 1 / OFFICE	3	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-129	
W08	BEDROOM 2 / OFFICE	3	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-129	
W09	BEDROOM 3	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-129	
W10	BEDROOM 5	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-129	
W11	BREAK RM / LOUNGE / DINING RM	1	3060SC	39-12-287-12"	YES	SINGLE CASEMENT HR	KOLBE	22242-22235-98	
W12	JR MASTER BATH	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W13	JR MASTER BEDROOM	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W14	JR MASTER BEDROOM	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W15	LAUNDRY	1	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W16	MASTER BEDROOM	2	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W17	MASTER DEN	2	2020FX	27-12-292-12"		FIXED GLASS	KOLBE	22242-22235-98	
W18	PENTHOUSE	4	8070	75-12-287-12"		MULLED UNIT	KOLBE	22242-22235-98	

NUMBER	LOCATION	SIZE	MFO	DESCRIPTION	MANUFACTURER	FL PROD. APPROVAL #
D01	BEDROOM 1 SGD	8090 R EX	98-X111"	EXT SLIDER GLASS PANEL	EURO WALL	21179
D02	BEDROOM 2 SGD	8090 L EX	98-X111"	EXT SLIDER GLASS PANEL	EURO WALL	21179
D03	BEDROOM 3 SGD	8090 L EX	98-X111"	EXT SLIDER GLASS PANEL	EURO WALL	21179
D04	FRONT DOOR	6010L EX	70-X124"	PIVOT DOOR	EURO WALL	22410
D05	GARAGE LEVEL HINGED DOOR	3080 R R	18-X208 1/2"	HINGED GLASS PANEL	ES-ET 300 SERIES	22541
D06	GARAGE LEVEL SGD	3080 L R	18-X208 1/2"	EXT 4-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D07	LOUNGE / GREAT ROOM SGD	300110 L R EX	322-X145"	EXT 4-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D08	MASTER SUITE SGD	300110 L R EX	322-X145"	EXT 4-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D09	OVERHEAD GARAGE DOOR	18050	216-X208"	FROSTED GLASS PANELS - AVANTE SERIES	CH COPY	
D10	PENTHOUSE HINGE DOOR	3070 R EX	18-X207"	EXT HINGED GLASS PANEL	ES-ET 300 SERIES	22541.1

- NOTE SCHEDULE**
- ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
 - ROOM HAS NO CLOSET. BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM. AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
 - ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE. NOT ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION.
 - CAST IN PLACE CONCRETE FLOOR STRUCTURE. REFER TO STRUCTURAL PLAN SET FOR DETAILS.
 - CMU BALCONY RAILING WALL 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
 - CMU WALL COLUMN WITH TILESTONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
 - FLOOD VENT: SMARTVENT FL PA #5823 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
 - GARAGE CEILING UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8" TYPE 'X' DRYWALL FINISH FOR FIRE RATING.
 - HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
 - MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC -R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
 - PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
 - PER FBC R302.5.1 - DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
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 - PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
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 - SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
 - SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1CSA B44. PER FEMA TB-4, 2010. ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
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NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

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DESIGN/BUILD FIRM

BOSS & MENNIE
LUXURY HOME BUILDERS
100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695
CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
	1	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION

SOUTH ELEVATION

PERMIT NUMBER

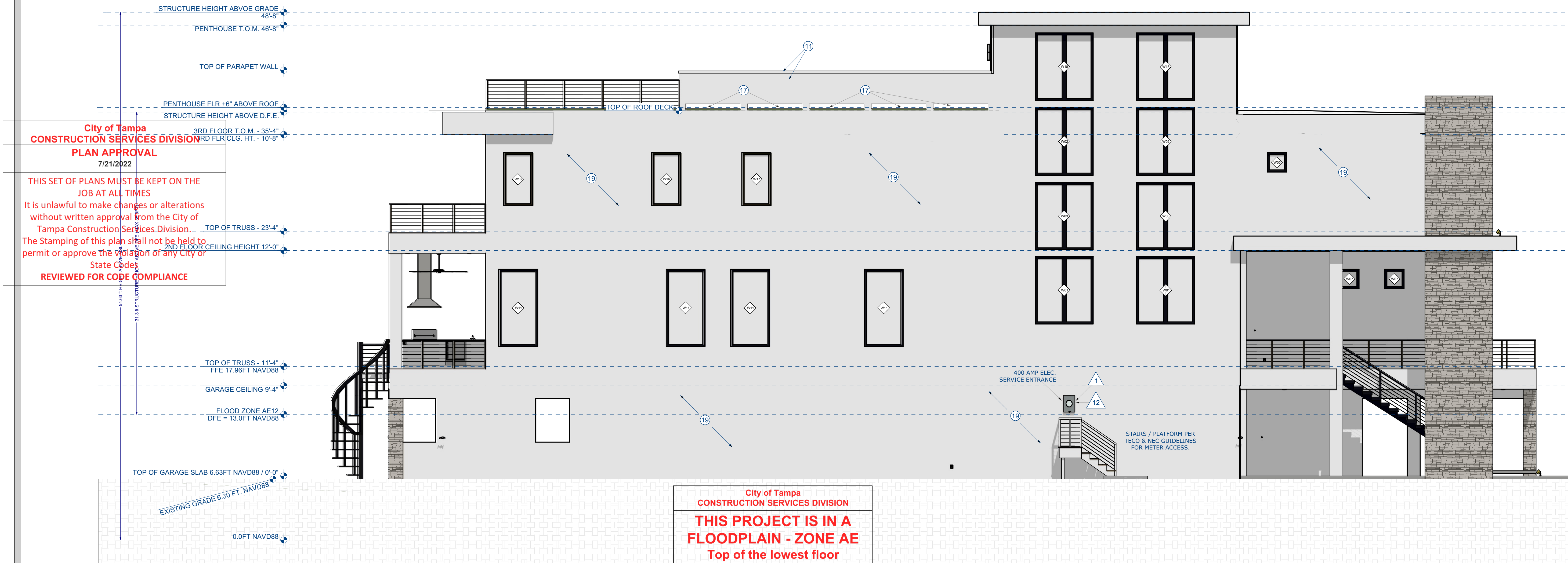
CITY OF TAMPA:
BLD-22-0492973

SCALE:

3/16"

SHEET:

A-11



City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

WINDOW SCHEDULE						
ID	LOCATION	QTY	SIZE	M/O	DESCRIPTION	FL PROD. APPROVAL #
W01	2ND FLOOR STAIRWELL	2	8070	75-12x287-1/2	MULLED UNIT	22242-22235-136
W02	3RD FLOOR STAIRWELL	2	8070	75-12x287-1/2	MULLED UNIT	22242-22235-136
W03	3RD FLOOR STAIRWELL	2	8070	75-12x287-1/2	MULLED UNIT	22242-22235-136
W04	BATH 1	1	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-98
W05	BATH 2	1	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-98
W06	BATH 3	1	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-98
W07	BEDROOM 1 / OFFICE	3	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-120
W08	BEDROOM 2 / OFFICE	3	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-120
W09	BEDROOM 3	1	3060SC	39-12x787-1/2	SINGLE CASEMENT-HR	22242-22235-98
W10	BEDROOM 4	1	3060SC	39-12x787-1/2	SINGLE CASEMENT-HR	22242-22235-98
W11	BREAK RM / LOUNGE / DINING RM	1	4030FX	45-12x938-1/2	FIXED GLASS	22242-22235-120
W12	JR. MASTER BATH	1	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-98
W13	JR. MASTER BEDROOM	1	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-98
W14	JR. MASTER BEDROOM	1	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-98
W15	LAUNDRY	1	2020FX	27-12x297-1/2	FIXED GLASS	22242-22235-98
W16	MASTER BEDROOM	2	3060FX	39-12x787-1/2	FIXED GLASS	22242-22235-98
W17	MASTER DEN	1	3060FX	39-12x787-1/2	FIXED GLASS	22242-22235-98
W18	PENTHOUSE	4	8070	75-12x287-1/2	MULLED UNIT	22242-22235-98

DOOR SCHEDULE						
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D04	FRONT DOOR	60100 L EX	70-X124"	PIVOT DOOR	EURO WALL	22410
D05	GARAGE LEVEL HINGED DOOR	3080 R R	15-X208 1/2"	HINGED GLASS PANEL	ES-EL 300 SERIES	22551
D06	GARAGE LEVEL SLIDING DOOR	3080 L R EX	15-X208 1/2"	EXT 1/2-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D07	LOUNGE / GREAT ROOM SGD	300110 L R EX	32-X145"	EXT 1/2-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D08	MASTER SUITE SGD	300110 L R EX	32-X145"	EXT 1/2-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D09	OVERHEAD GARAGE DOOR	18050	216-X96"	FROSTED GLASS PANELS - AVANTE SERIES	CH OPAY	
D10	PENTHOUSE HINGE DOOR	3070 R EX	18-X97"	EXT. HINGED GLASS PANEL	ES-EL 300 SERIES	22551.1

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City of Tampa
ENGINEER SEAL
 BLD-22-0492973 7/21/2022
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DESIGN/BUILD FIRM
BOSS & MENNIE
 LUXURY HOME BUILDERS
 100 MAIN ST SUITE 200
 SAFETY HARBOR, FL 34695
 CCG 1256191

PROJECT ADDRESS
PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
	1	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION

NORTH ELEVATION

PERMIT NUMBER

CITY OF TAMPA:
BLD-22-0492973

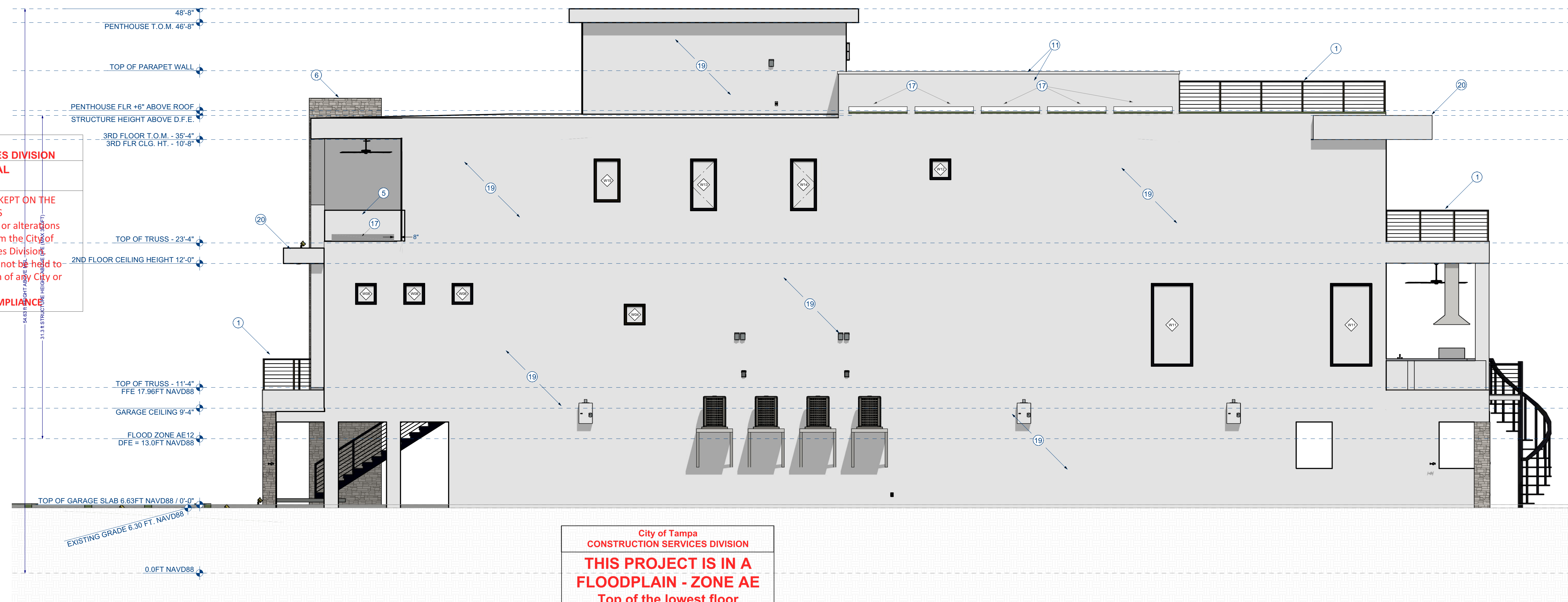
SCALE:

3/16"

SHEET:

A-12

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
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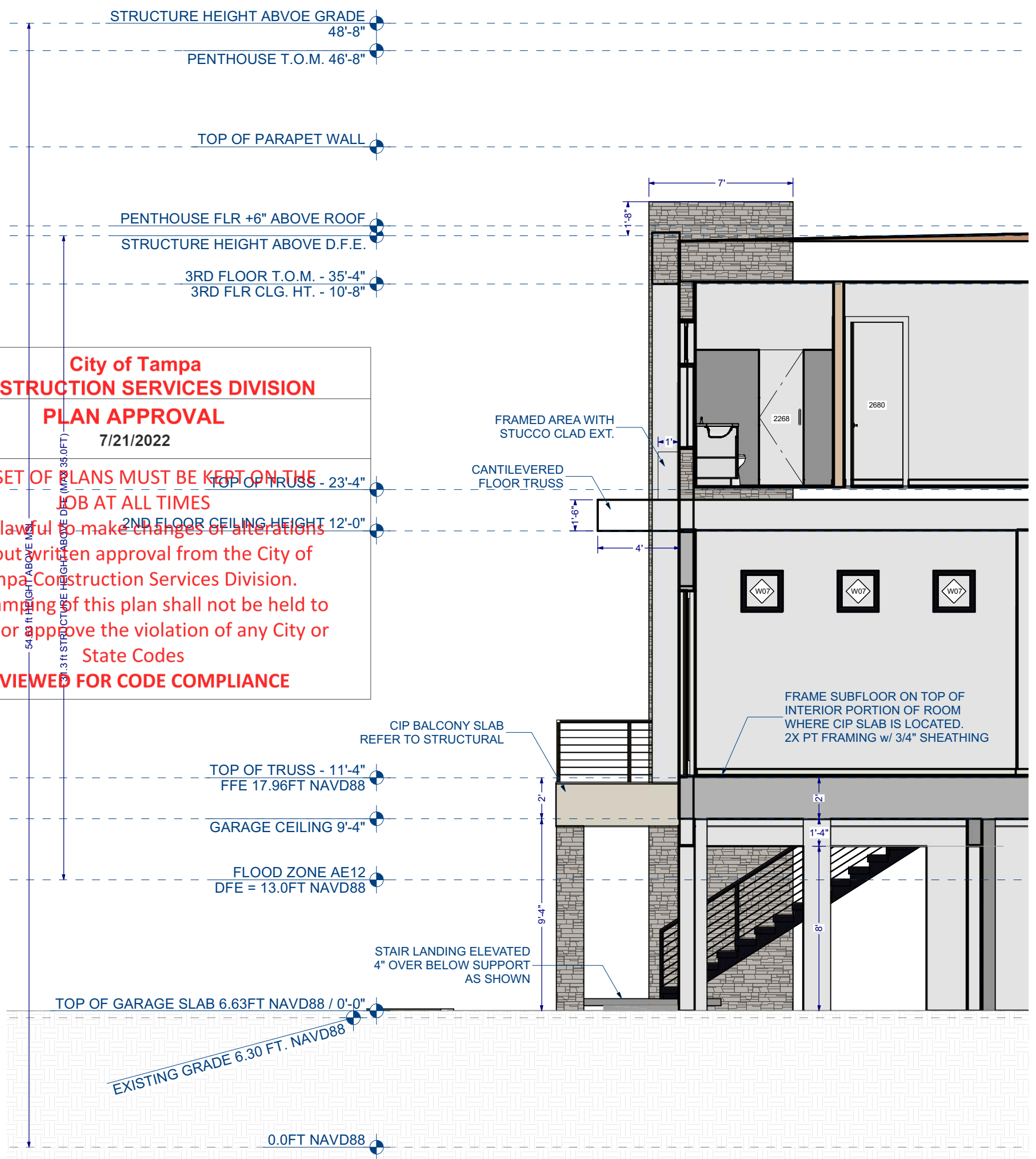
WINDOW SCHEDULE							
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W12	JR. MASTER BATH	1	6020FX	67-12x27-1/2	FIXED GLASS	KOLBE	22242 22235 98
W13	JR. MASTER BEDROOM	1	6020FX	67-12x27-1/2	FIXED GLASS	KOLBE	22242 22235 98
W14	JR. MASTER BEDROOM	1	6020FX	67-12x27-1/2	FIXED GLASS	KOLBE	22242 22235 98
W15	LAUNDRY	1	6042FX	33-12x53-1/2	FIXED GLASS	KOLBE	22242 22235 98
W16	MASTER BEDROOM	2	6056FX	39-12x69-1/2	FIXED GLASS	KOLBE	22242 22235 98
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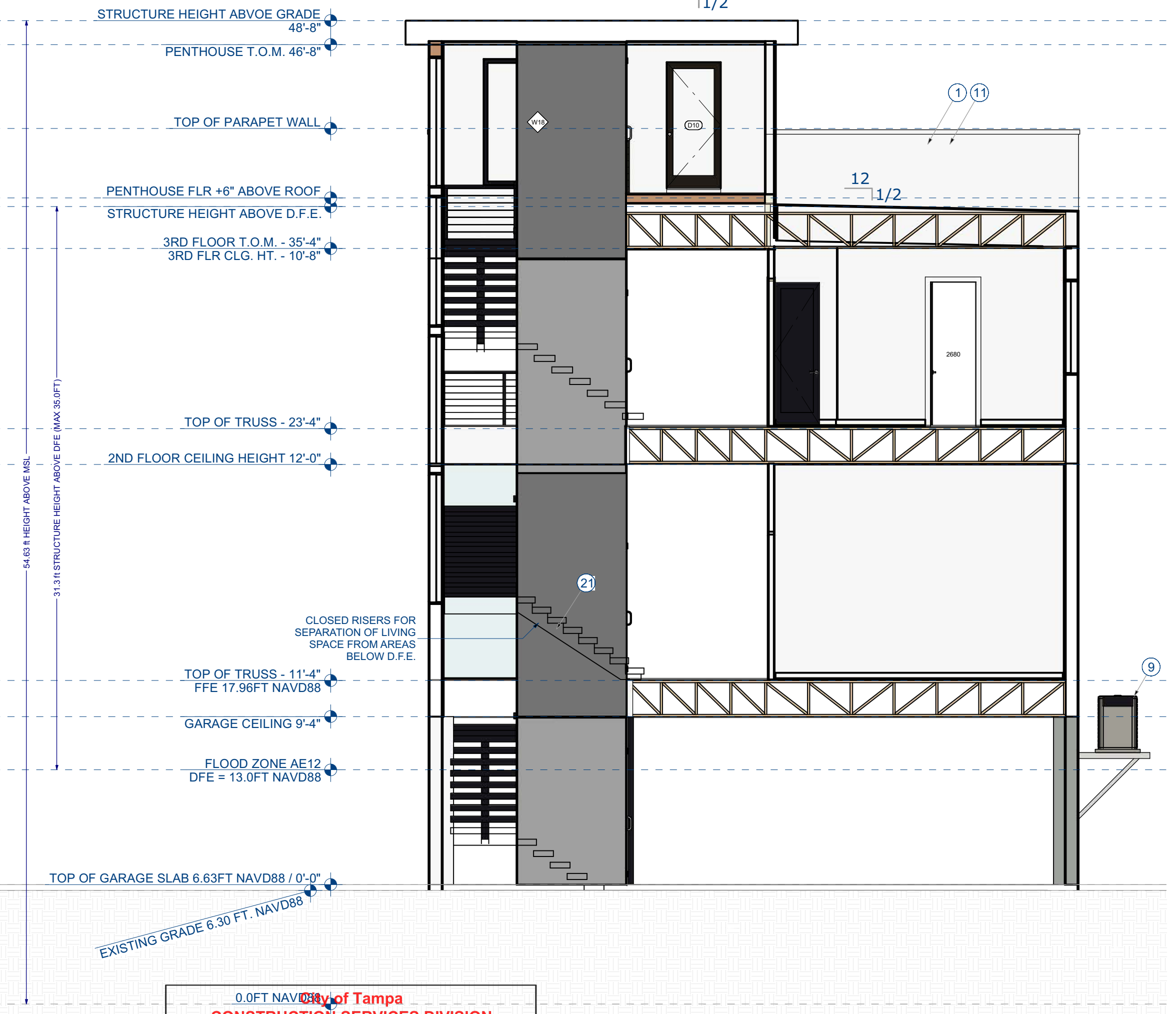
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 - GARAGE CEILING UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8" "TYPE X" DRYWALL FINISH FOR FIRE RATING.
 - HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
 - MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
 - PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
 - PER FBC R302.5.1 - DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
 - PLANTER, STUCCO SAND FINISH
 - PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
 - REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
 - REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
 - SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
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 - STUCCO SAND FINISH
 - TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
 - STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
 - 6" DIA. ALUMINUM SPIRAL STAIRCASE. POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
 - INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 60" WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

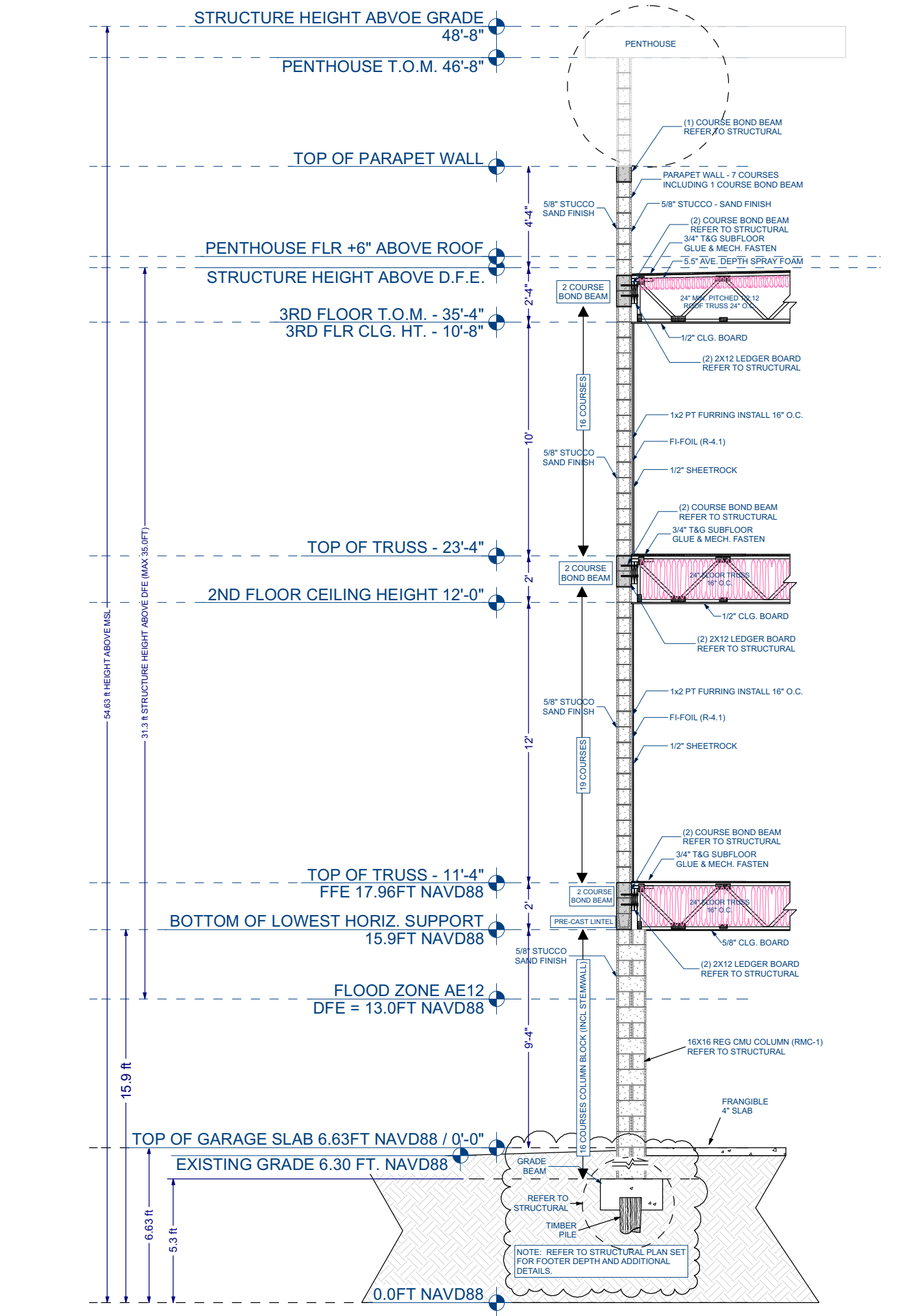
SECTION A-A



SECTION B-B



WALL SECTION - TYP



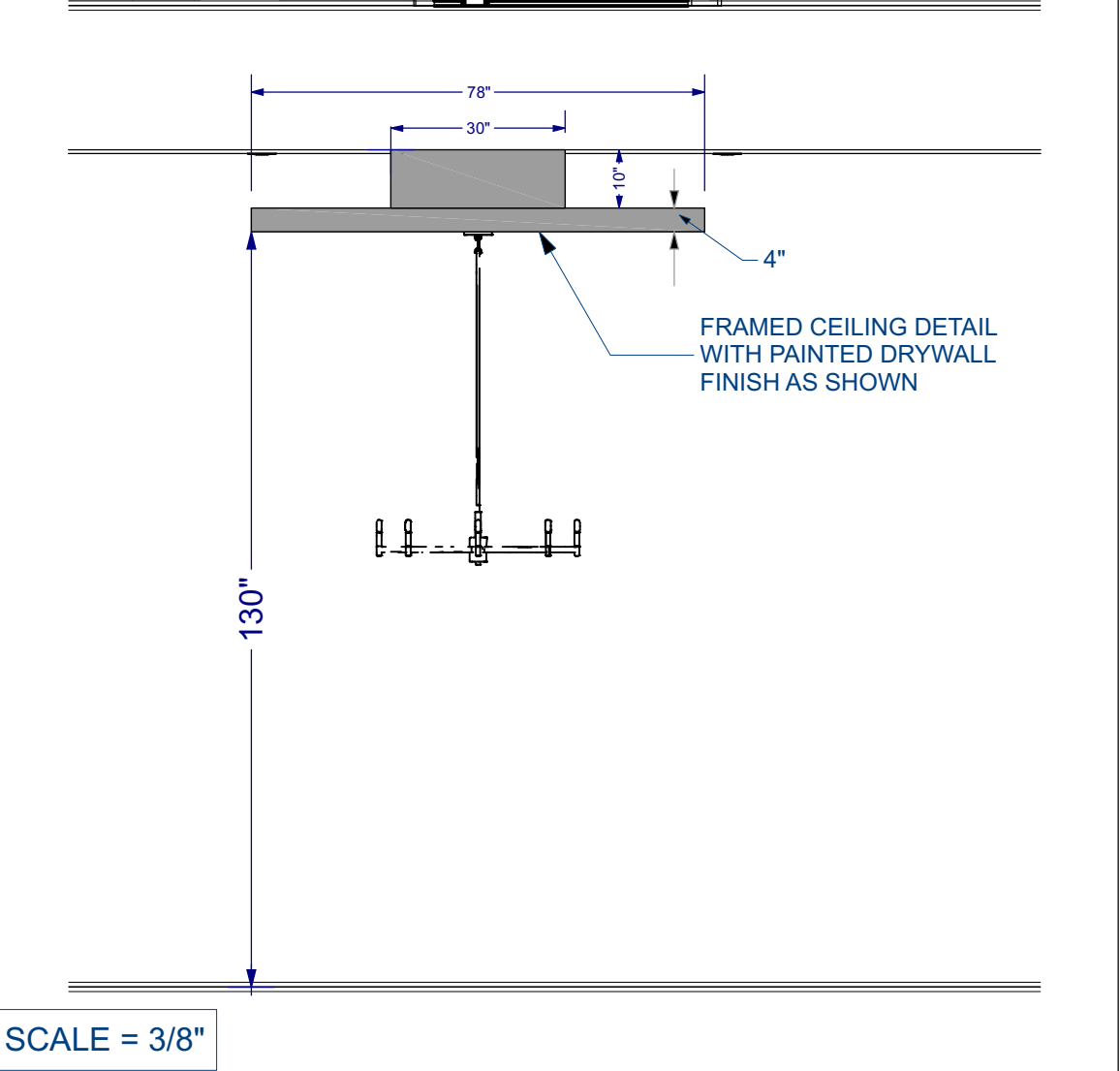
SCALE = 3/16"

SCALE = 3/16"

SCALE = 3/16"

**City of Tampa
CONSTRUCTION SERVICES DIVISION**
**THIS PROJECT IS IN A
FLOODPLAIN - ZONE AE**
**Top of the lowest floor
required to be at or above the
Design Flood Elevation (DFE)**

SECTION C-C



SCALE = 3/8"

WINDOW SCHEDULE						
ID	LOCATION	QTY	SIZE	M/O	DESCRIPTION	FL. PROD. APPROVAL #
W01	LOOK DOWN STAIRWELL	2	80/0	75-12-287 1/2	MULLED UNIT	22242 22235 136
W02	3RD FLOOR STAIRWELL	2	80/0	75-12-287 1/2	MULLED UNIT	22242 22235 136
W03	3RD FLOOR STAIRWELL	2	80/0	75-12-287 1/2	MULLED UNIT	22242 22235 228
W04	BATH 1	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W05	BATH 2	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W06	BEDROOM 1 / OFFICE	3	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 129
W07	BEDROOM 2 / OFFICE	3	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 129
W08	BEDROOM 3	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 129
W09	BEDROOM 4	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 129
W10	BEDROOM 5	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 129
W11	BREAK ROOM / DINING RM	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 129
W12	JR. MASTER BATH	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W13	JR. MASTER BEDROOM	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W14	JR. MASTER BEDROOM	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W15	LAUNDRY	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W16	MASTER BEDROOM	2	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W17	MASTER DEN	1	60/20FX	27-12-292 1/2	FIXED GLASS	22242 22235 98
W18	PENTHOUSE	4	80/0	75-12-287 1/2	MULLED UNIT	22242 22235 98

DOOR SCHEDULE						
NUMBER	LOCATION	SIZE	M/O	DESCRIPTION	MANUFACTURER	FL. PROD. APPROVAL #
D01	BEDROOM 1 SGD	80/0 R EX	98-X111"	EXT SLIDER GLASS PANEL	EURO WALL	21179
D02	BEDROOM 2 SGD	80/0 L EX	98-X111"	EXT SLIDER GLASS PANEL	EURO WALL	21179
D03	BEDROOM 3 SGD	80/0 L EX	98-X111"	EXT SLIDER GLASS PANEL	EURO WALL	21179
D04	FRONT DOOR	60/100 L EX	70-X124"	PIVOT DOOR	EURO WALL	22410
D05	GARAGE LEVEL HINGED DOOR	80/0 R R	82-X99"	HINGED GLASS PANEL	ES-EL 300 SERIES	22541
D06	LOUNGE / GREAT ROOM SGD	80/110 L R EX	82-X145"	EXT 3-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D07	MASTER SUITE SGD	80/110 L R EX	82-X145"	EXT 3-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D08	OVERHEAD GARAGE DOOR	10/60	216-X96"	FROSTED GLASS PANELS - AVANTE SERIES	CH COPY	
D09	PENTHOUSE HINGE DOOR	80/0 R EX	134-X97"	EXT. HINGED GLASS PANEL	ES-EL 300 SERIES	22541

- NOTE SCHEDULE
- ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
 - ROOM HAS NO CLOSET. BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM. AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
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City of Tampa
ENGINEER SEAL
BLD-22-0492973 7/21/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division.
The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes
REVIEWED FOR CODE COMPLIANCE

THIS FEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON 07/07/2022 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM
BOSS & MENNIE
LUXURY HOME BUILDERS
100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695
CGC 1256191

PROJECT ADDRESS
PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606

REVISIONS	NO.	DESCRIPTION	DATE
			07/07/22
	1	PLAN REVIEW REVISIONS	

PAGE DESCRIPTION

SECTION DETAILS

PERMIT NUMBER

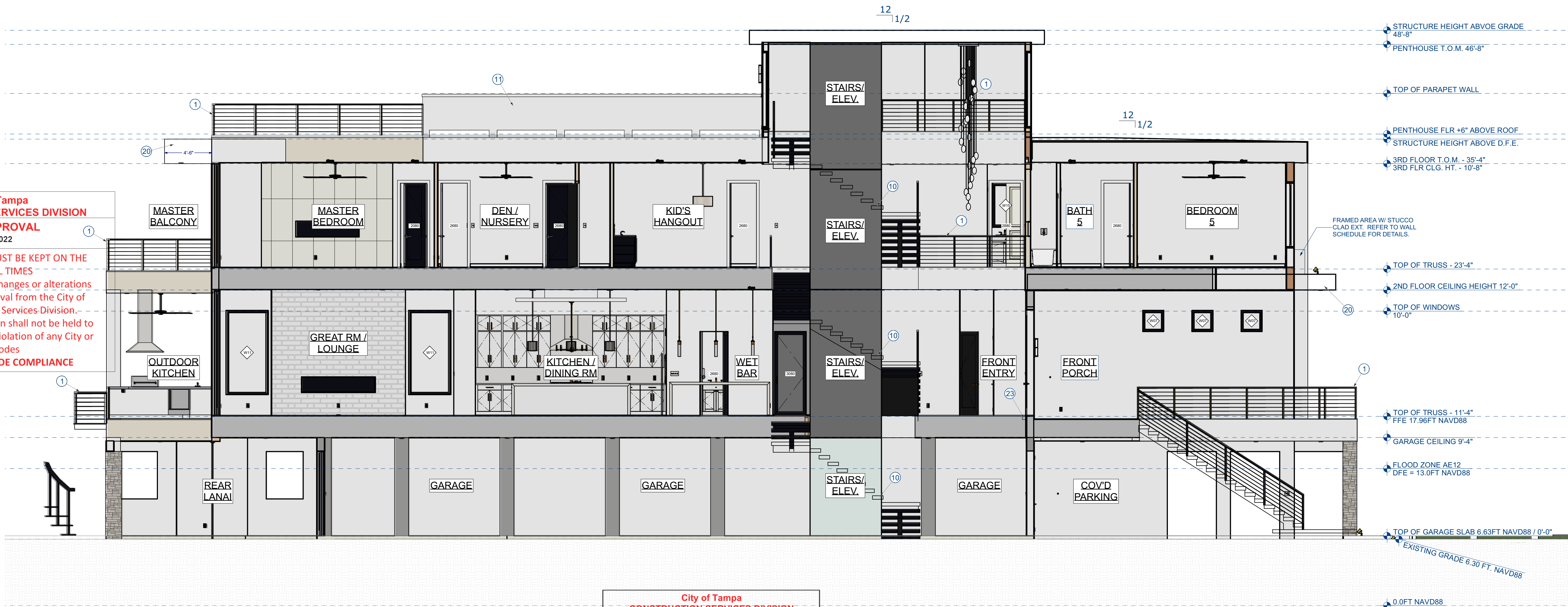
CITY OF TAMPA:
BLD-22-0492973

SCALE:
AS SHOWN

SHEET:

A-13

SECTION D-D



City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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SCALE = 3/16"

City of Tampa
CONSTRUCTION SERVICES DIVISION
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BLD-22-0492973 7/21/2022

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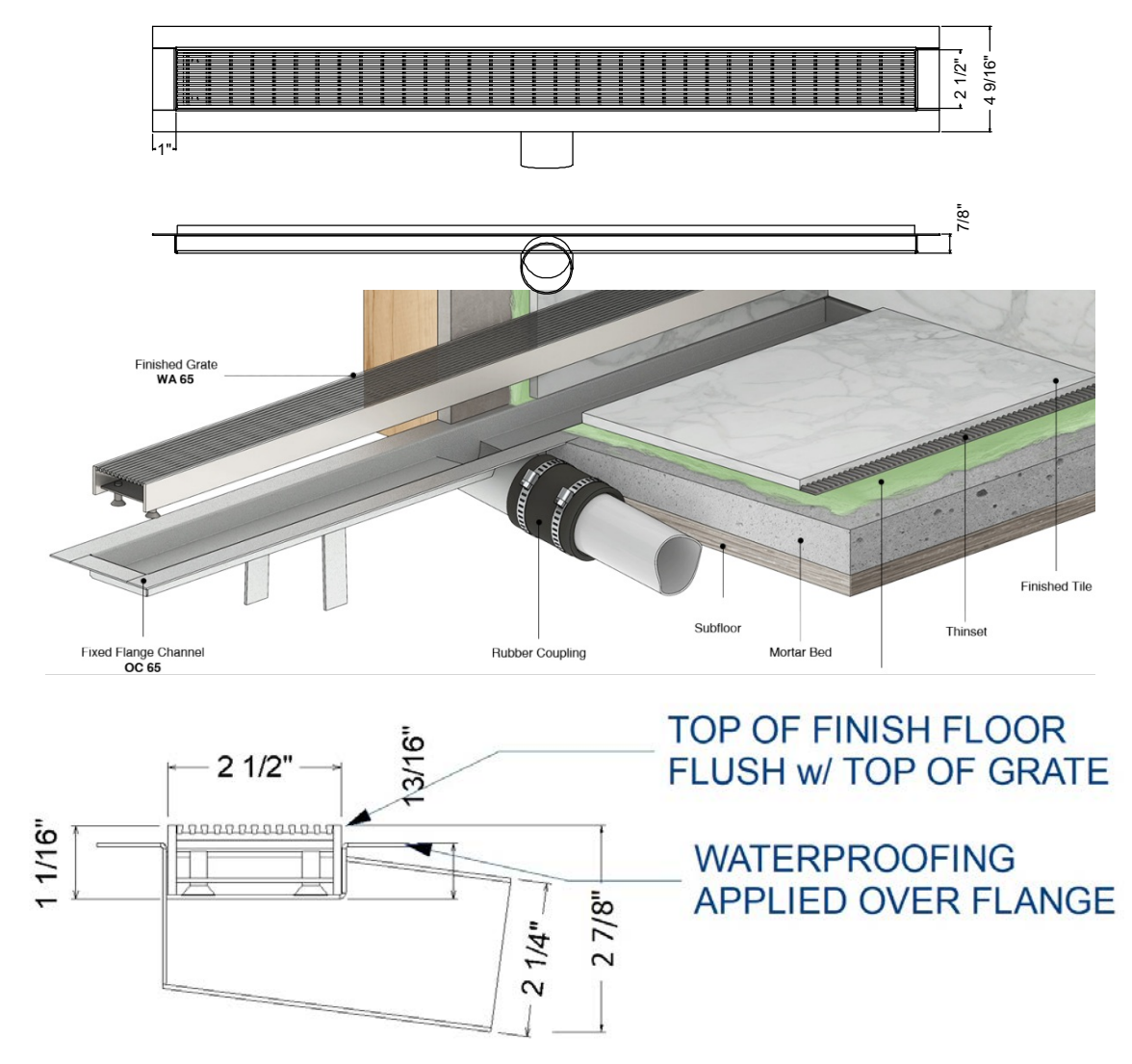
SCALE:

AS SHOWN

SHEET:

A-14

23 FRONT DOOR INFINITY DRAIN DETAIL



SCALE: VARIES

WINDOW SCHEDULE						
ID	LOCATION	QTY	SIZE	MFO	EGRESS	DESCRIPTION
W01	LOOK UP STAIRWELL	2	6070	75-12-287-1/2		MULLED UNIT
W02	3RD FLOOR STAIRWELL	2	6070	75-12-287-1/2		MULLED UNIT
W03	3RD FLOOR STAIRWELL	2	6070	75-12-287-1/2		MULLED UNIT
W04	BATH 4	1	6020FX	27-12-292-1/2		FIXED GLASS
W05	BATH 5	1	6020FX	27-12-292-1/2		FIXED GLASS
W06	BATH 6	3	6020FX	27-12-292-1/2		FIXED GLASS
W07	BEDROOM 1 / OFFICE	3	6020FX	27-12-292-1/2		FIXED GLASS
W08	BEDROOM 2 / OFFICE	3	6020FX	27-12-292-1/2		FIXED GLASS
W09	BEDROOM 3	1	6060SC	39-12-275-1/2	YES	SINGLE CASEMENT HR
W10	BEDROOM 5	1	6020FX	27-12-292-1/2		FIXED GLASS
W11	GREAT RM / LOUNGE / DINING RM	1	6060SC	39-12-275-1/2	YES	SINGLE CASEMENT HR
W12	JR MASTER BATH	1	6020FX	27-12-292-1/2		FIXED GLASS
W13	JR MASTER BEDROOM	1	6060SC	39-12-275-1/2	YES	SINGLE CASEMENT HR
W14	JR MASTER BEDROOM	1	6060SC	39-12-275-1/2	YES	SINGLE CASEMENT HR
W15	LAUNDRY	1	6040FX	33-12-253-1/2		FIXED GLASS
W16	MASTER BEDROOM	2	6060FX	39-12-275-1/2		FIXED GLASS
W17	MASTER DEN	1	6060FX	39-12-275-1/2		FIXED GLASS
W18	PENTHOUSE	4	6070	75-12-287-1/2		MULLED UNIT

DOOR SCHEDULE						
NUMBER	LOCATION	SIZE	MFO	DESCRIPTION	MANUFACTURER	FL PROD. APPROVAL #
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D04	FRONT DOOR	60100 L EX	70-X124"	PIVOT DOOR	EURO WALL	22410
D05	GARAGE LEVEL HINGED DOOR	3080 R R	30-X98-1/2"	HINGED GLASS PANEL	ES-ET 300 SERIES	22541
D06	LOUNGE / GREAT ROOM SGD	300110 L R EX	302-X145"	EXT 3-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D07	MASTER SUITE SGD	300910 L R EX	302-X151"	EXT 3-PANEL SLIDER GLASS PANEL	EURO WALL	21179
D08	OVERHEAD GARAGE DOOR	10050	216-X98"	FROSTED GLASS PANELS - AVANTE SERIES	CH COPY	
D09	PENTHOUSE HINGED DOOR	3070 R EX	30-X97"	EXT HINGED GLASS PANEL	ES-ET 300 SERIES	22541.1

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DESIGN CRITERIA

BASIS OF DESIGN:

ALL CONSTRUCTION IS DESIGNED AS FOLLOWS:
FLORIDA BUILDING CODE 7TH EDITION 2020 AS FOLLOVED BELOW:
FBC, BUILDING-2020
FBC, RESIDENTIAL-2020

Table with 2 columns: DEAD LOADS, LIVE LOADS, RAIN LOADS, WIND LOADS. Includes values for roof, floor, and various load intensities.

GUARDHANDRAILS
LOAD CASE 1: 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION
LOAD CASE 2: 50 LBS APPLIED HORIZONTAL TOP GUARDRAIL AND A SIMULTANEOUS LOAD OF 100 PLF APPLIED VERTICALLY TO TOP GUARDRAIL

CONSTRUCTION SERVICES DIVISION

STRENGTH DESIGN PLAN APPROVAL

REINFORCING STEEL (Fy=60,000 psi)
CONCRETE SLAB (F'c=3,000 psi)
REINFORCED MASONRY (Fm=1,500 psi)
FRAMING LUMBER (Sd=2,000 psi)
BOLTS FOR WOOD CONNECTIONS (#2 SIP)
WOOD STUDS (A325)
WOOD JOISTS (A435)
WOOD TRUSSES (Fv=2850, 2.0E)

REVIEW OF PLAN CODES COMPLIANCE

15/32 APA RATED SHEATHING
BLOCKED PANEL DIAPHRAGM
10x DEFOR. NAILS SPACED @ 8" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS, AND @ 12" O.C. AT INTERIOR SUPPORTS.

GENERAL NOTES:

- 1. THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS, WHEN IN EXCESS OF MINIMUM SPECIFICATION SHALL CONTROL.
2. AT CONSTRUCTION ISSUE, THESE DRAWINGS REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE.
3. VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL DOCUMENTS AND PROPERLY COORDINATED, APPROVED SHOP DRAWINGS.

CONTRACTOR RESPONSIBILITIES:

- 1. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS INCLUDING ANY REVISIONS BEFORE STARTING CONSTRUCTION.
2. IT IS ASSUMED THAT THE CONTRACTOR HAS READ AND UNDERSTANDS THE NOTES, SPECIFICATIONS AND DESIGN INTENT CONTAINED HEREIN.
3. THE CONTRACTOR SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK.

FOUNDATION NOTES:

- 1. FOOTINGS SHALL BEAR ON SOIL SUITABLE FOR SUPPORTING 2000 P.S.F. NET ALLOWABLE BEARING. IF QUESTIONABLE SOIL IS ENCOUNTERED, THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
2. FOOTINGS SHALL BE POURED IMMEDIATELY AFTER EXCAVATION.
3. EXPANSION AND CONTROL JOINTS ARE TO BE PLACED PER A.C.I. RECOMMENDATIONS.

SITE WORK NOTES:

- 1. PERFORM EXCAVATION, ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES, TO THE LINES, GRADES, ELEVATIONS INDICATED ON THE DRAWINGS AND ACCORDING TO RECOMMENDATIONS FOUND IN SUB SURFACE REPORT BY GEOTECHNICAL ENGINEER.
2. ALL FILL UNDER SLABS AND FOUNDATIONS SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY (MODIFIED PROCTOR TEST) AT OPTIMUM MOISTURE CONTENT.

MASONRY NOTES:

- 1. THE DESIGN AND CONSTRUCTION MUST CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ASCE 5), AND THE SPECIFICATIONS FOR MASONRY STRUCTURES ACI 530.1/ASCE 6, CURRENT CODE EDITIONS.
2. VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL DOCUMENTS AND PROPERLY COORDINATED APPROVED SHOP DRAWINGS.

CONCRETE NOTES AND SPECIFICATIONS:

- 1. ALL CONCRETE WORK SHALL CONFORM TO THE "A.C.I. BUILDING CODE", ACI 318 AND ACI 301, LATEST EDITION.
2. DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 315-99, "ACI DETAILING MANUAL - 1999".
3. UNLESS OTHERWISE NOTED, ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60 (60,000 PSI YIELD), REINFORCING SHALL BE FREE FROM OIL, DIRT AND OTHER MATERIALS THAT WOULD REDUCE THE BOND WITH THE CONCRETE.

WOOD PRESERVATIVE TREATMENT REQUIREMENTS:

- 1. AWPA USE CATEGORY UC4B
ALL WOOD USES FOR PERMANENT WOOD FOUNDATION OR REQUIRING HEAVY DUTY PROTECTION.
2. AWPA USE CATEGORY UC4A
ALL WOOD IN CONTACT WITH OR WITHIN 3" OF THE GROUND.

REINFORCING STEEL SPLICE NOTES:

- 9.1. ALL REINFORCING STEEL SHALL BE SPLICED AS NOTED BELOW AND AS REQUIRED IN THE A.C.I. BUILDING CODE (LATEST EDITION).
9.1.1. LD NOTED IN THE DETAILS AND TABLES BELOW IS THE STRAIGHT BAR DEVELOPMENT LENGTH PER ACI-318.
9.1.2. CLASS B LAP SPLICE TABLE SHALL BE USED FOR ALL LAP SPLICES AND BAR DEVELOPMENT UNLESS NOTED OTHERWISE.

- 3. SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER-OF-RECORD ALONG WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
4. CARE SHALL BE TAKEN IN PLACING POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING REBAR.
5. HOLES SHALL BE DRILLED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

WOOD FRAMING NOTES:

- 1. VERIFY SHEATHING TYPE AND THICKNESS WITH ROOF MATERIAL MANUFACTURER'S REQUIREMENTS FOR WIND RESISTANCE ATTACHMENT.
2. PRE-ENGINEERED WOOD TRUSS ERECTOR IS REQUIRED TO HANDLE AND INSTALL TRUSSES PER MANUFACTURER'S INSTRUCTIONS.
3. ENGINEER MUST REVIEW AND APPROVE TRUSS SHOP DRAWINGS PRIOR TO FABRICATION.

STRUCTURAL STEEL:

- 1. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS, UNLESS NOTES OTHERWISE ON PLAN:
ROLLED W SHAPES ASTM A992, GRADE 50
ROLLED C & MC SHAPES ASTM A36
ANGLES ASTM A36
ROUND HSS ASTM A500, GR B (Fy=42 KSI)

- RECTANGULAR HSS ASTM A500, GR B (Fy=46 KSI)
PIPE ASTM A53, GR B (Fy=35 KSI)
PLATES ASTM A36
2. ALL SHOP AND FIELD WELDING SHALL CONFORM TO AWS STRUCTURAL WELDING CODE, ANSII/AWS D1.1, AND ALL WELDS SHALL BE PERFORMED USING E70XX U.N.O.

SUBMITTALS:

- 1. THE GENERAL CONTRACTOR SHALL SUBMIT FOR ENGINEER REVIEW SHOP DRAWINGS FOR THE FOLLOWING ITEMS:
1.1. REINFORCING STEEL
1.2. CONCRETE MIX DESIGN
1.3. STRUCTURAL STEEL ERECTION DRAWINGS

ALL ITEMS MARKED (*) SHALL HAVE SHOP DRAWINGS SIGNED, SEALED, AND DATED BY A REGISTERED ENGINEER IN THE STATE OF FLORIDA.

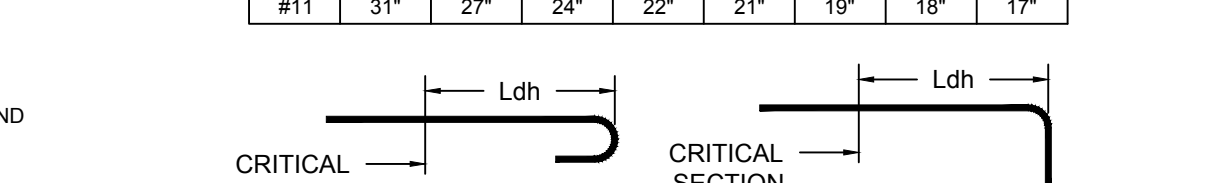
- 2. ALL SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE ARCHITECT/ENGINEERING.
3. ALL SHOP DRAWINGS SHALL BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION.
4. THE CONTRACT DOCUMENTS WILL GOVERN OVER THE SHOP DRAWINGS UNLESS OTHERWISE SPECIFIED IN WRITING BY THE ENGINEER.

WOOD STUD TOE NAIL REQUIREMENTS

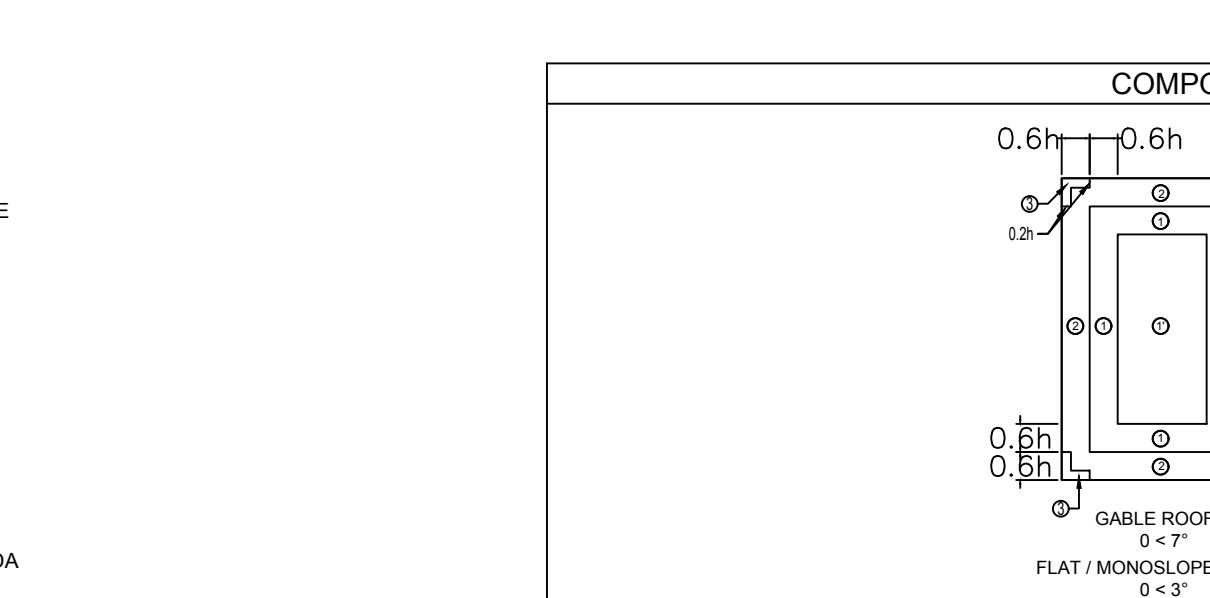
Table with 4 columns: WALL STUD SIZE, MINIMUM # OF 10d TOE NAILS EACH SIDE OF EACH END, CAPACITY PER END (WIND LOAD), and various wall/stud size combinations.

A.C.I. STANDARD HOOK REINFORCING DEVELOPMENT LENGTH SCHEDULE (Ldb)

Table with 2 columns: REINFORCING SIZE, CONCRETE STRENGTH (PSI), and development length values for various bar sizes and strengths.

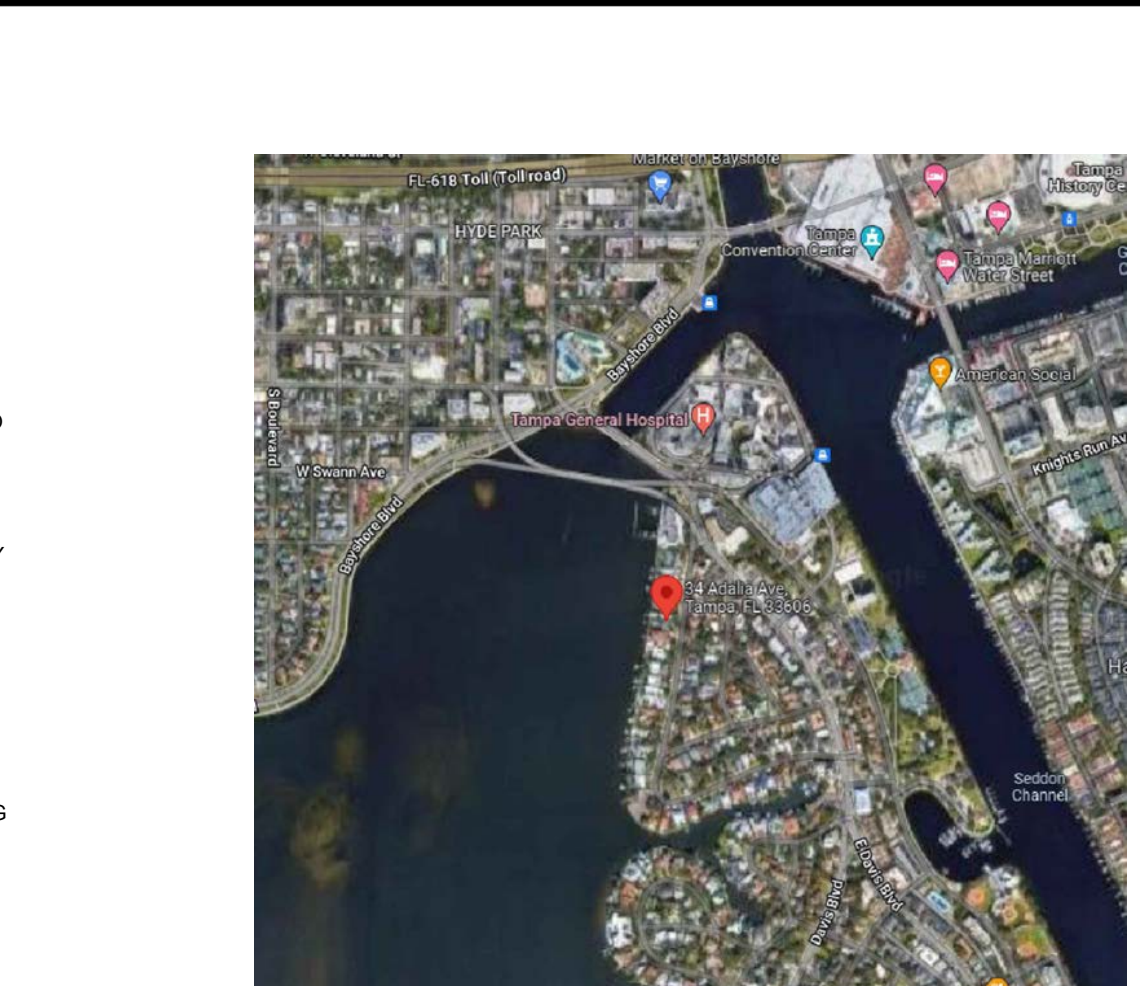


COMPONENTS AND CLADDING PRESSURE ZONES



COMPONENTS AND CLADDING WIND PRESSURE CHART

Table with 4 columns: EFFECTIVE AREA OF COMPONENT, ZONE 5: WITHIN 0.6H OF CORNER, ZONE 4: NOT WITHIN 0.6H OF CORNER, and ZONE 3: WITHIN 0.6H OF CORNER. Includes wind pressure values for various areas and zones.



VICINITY MAP

SCALE: N.T.S.

CLASS A SPLICE (USE ONLY IF NOTED ON DRAWINGS)

Table with 2 columns: REINFORCING SIZE, CONCRETE STRENGTH (PSI), and splice length values for various bar sizes and strengths.

CLASS B SPLICE (TO BE USED U.N.O.)

Table with 2 columns: REINFORCING SIZE, CONCRETE STRENGTH (PSI), and splice length values for various bar sizes and strengths.

NAIL SIZING CHART

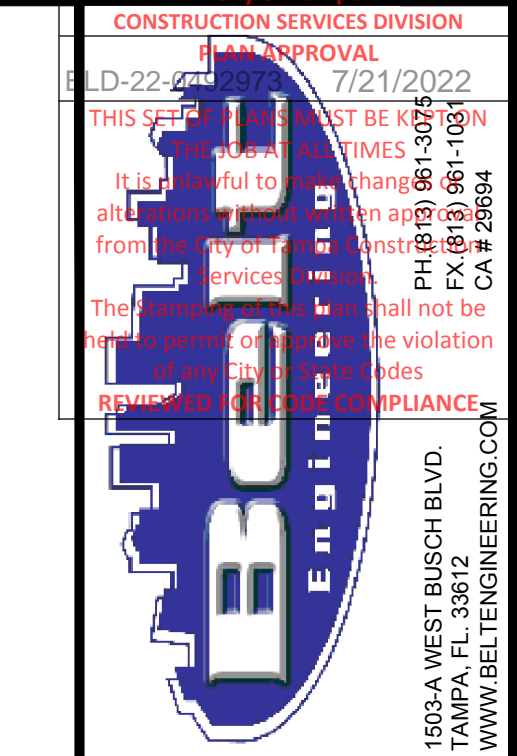
Table with 4 columns: NAIL SIZE, SHANK DIAMETER, SHANK LENGTH, and HEAD DIAMETER. Includes values for various nail sizes and applications.

PROJECT INFORMATION:

DESIGN CRITERIA
NEW PRIVATE RESIDENCE
34 ADAILIA AVE
TAMPA, FL 33606

JOB NO. DRAWING DESIGN CHECK

ET22-0219
KT
AZ
SD
SPECIFICATIONS & DESIGN CRITERIA
S0.1



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON 07/20/2022 USING A SHA-256 AUTHENTICATION CODE. PRINTED THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-256 AUTHENTICATION CODE MUST BE VERIFIED ON AN ELECTRONIC COPIES.

Digitally signed by Samuel P. Dean Date: 2022.07.08 10:54:01 -0400

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE STRUCTURAL ELEMENTS AND SYSTEMS FOR THIS DESIGN STRUCTURE HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, ALL OTHER ELEMENTS, SYSTEMS AND REQUIREMENTS OF THE BUILDER, RESPONSIBILITY OF THE BUILDER.

Table with 2 columns: DATE, NO., ISSUE, PERMIT SET, RESPONSE TO COMMENTS #1, RESPONSE TO COMMENTS #2.

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TAMPA, FL 33606

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AZ
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SPECIFICATIONS & DESIGN CRITERIA

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NO. ISSUE DATE
1. PERMIT SET 05/06/2022
2. RESPONSE TO COMMENTS 06/13/2022
3. RESPONSE TO COMMENTS 07/07/2022

NO.	ISSUE	DATE
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JOB NO. ET22-0219
DRAWN - KT
DESIGN - AZ
CHECK - SD

FOUNDATION PLAN

S1.1

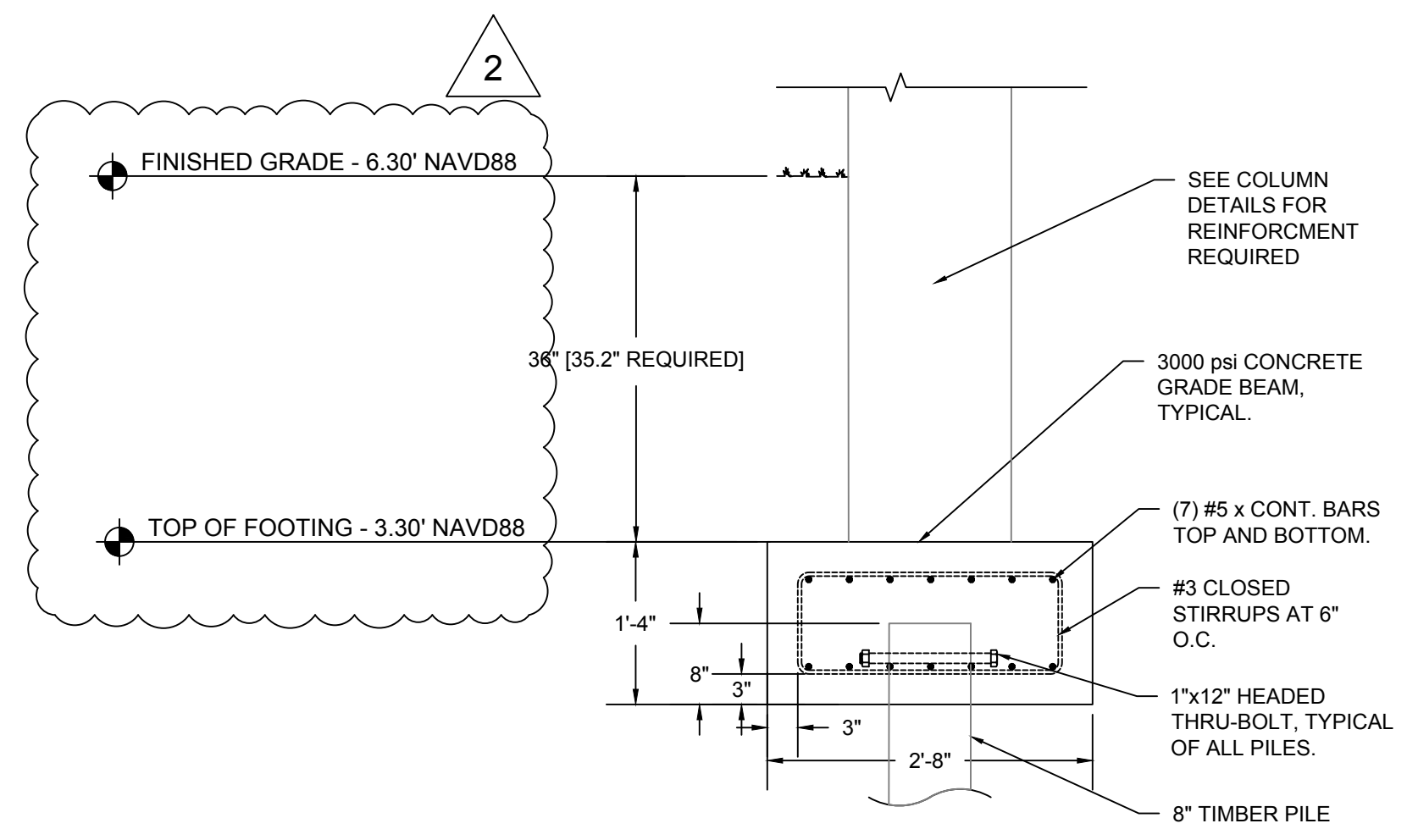
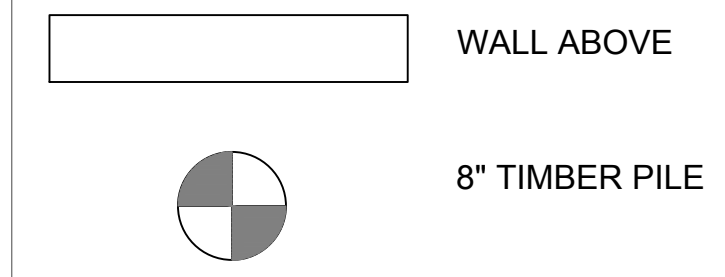
FOUNDATION NOTES:

- COORDINATE ALL PILE DRIVING WITH THE SOIL REPORT BY GEOTECH COMPANY.
- TOP OF OUTDOOR LIVING SLAB TO BE 6.33' NAVD88.
- TOP OF GARAGE SLAB TO BE 6.63' NAVD88.
- TOP OF ADJACENT GRADE IS 6.30' NAVD88

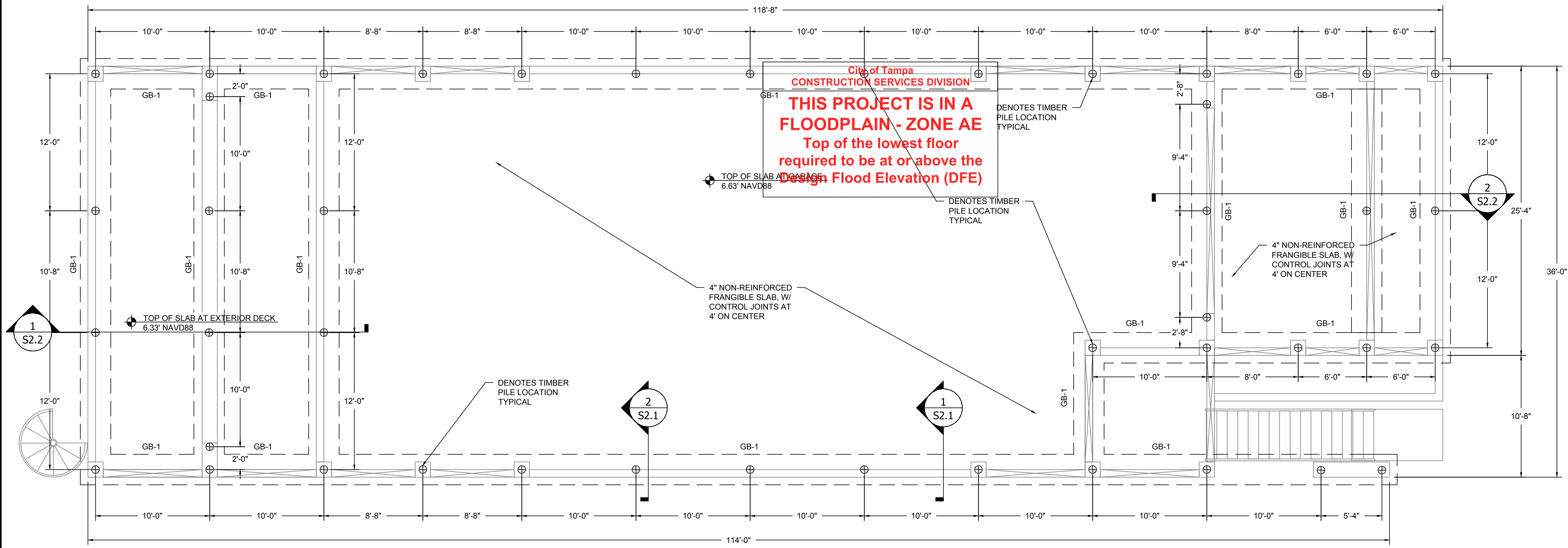
SCOUR NOTE:

- LOCALIZED COLUMN SCOUR = 2.2" WIDTH = 35.2" REQUIRED; 36" PROVIDED

WALL LEGEND:



1 GRADE BEAM DETAIL - GB-1
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

City of Tampa
CONSTRUCTION SERVICES DIVISION
7/21/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS TO THESE PLANS WITHOUT WRITTEN APPROVAL FROM THE CITY OF TAMPA CONSTRUCTION SERVICES DIVISION.
THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES.
REVIEWED FOR CODE COMPLIANCE

1500 A WEST BUSCH BLVD.
TAMPA, FL 33612
WWW.BELTENGINEERING.COM

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TAMPA, FL 33606

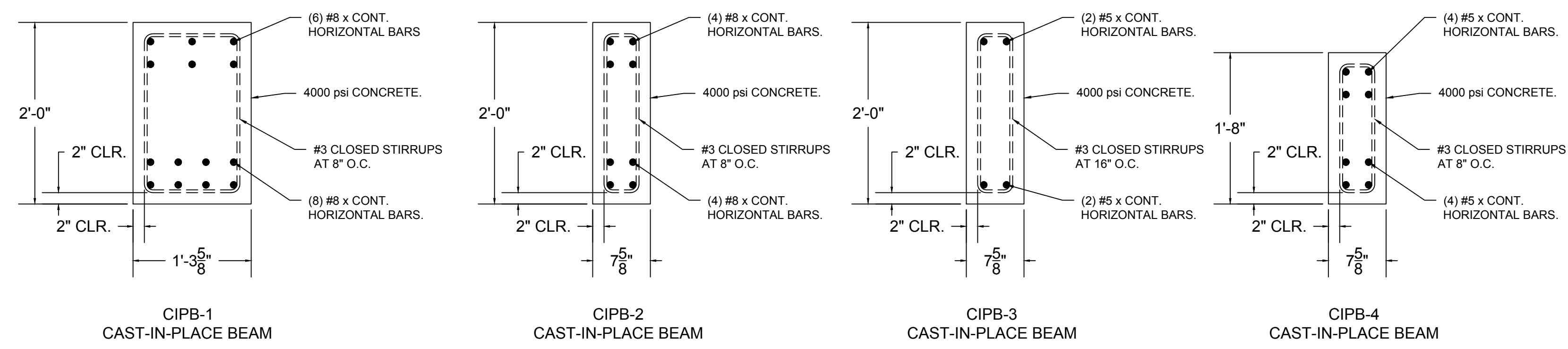
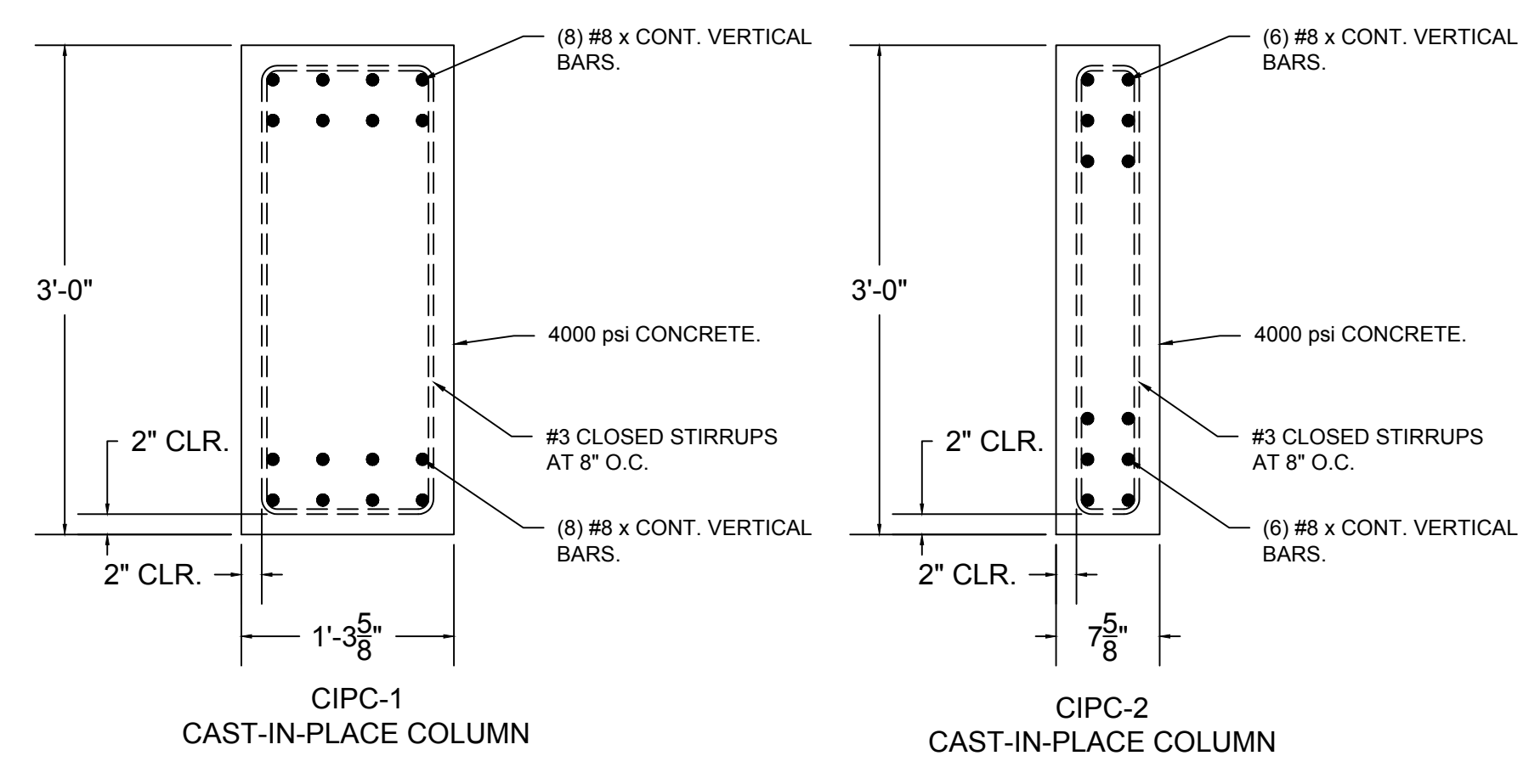
JOB NO. ET22-0219
DRAWN KT
DESIGN AZ
CHECK SD

GROUND LEVEL WALL PLAN
S1.2

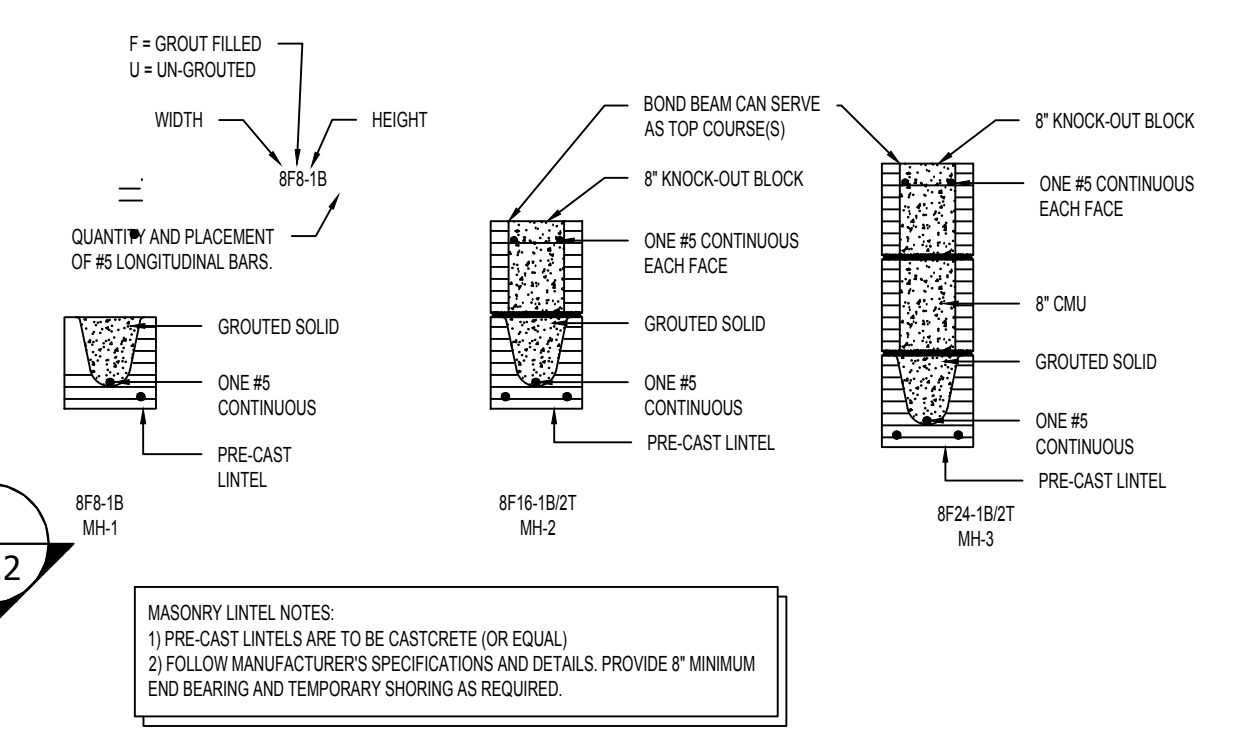
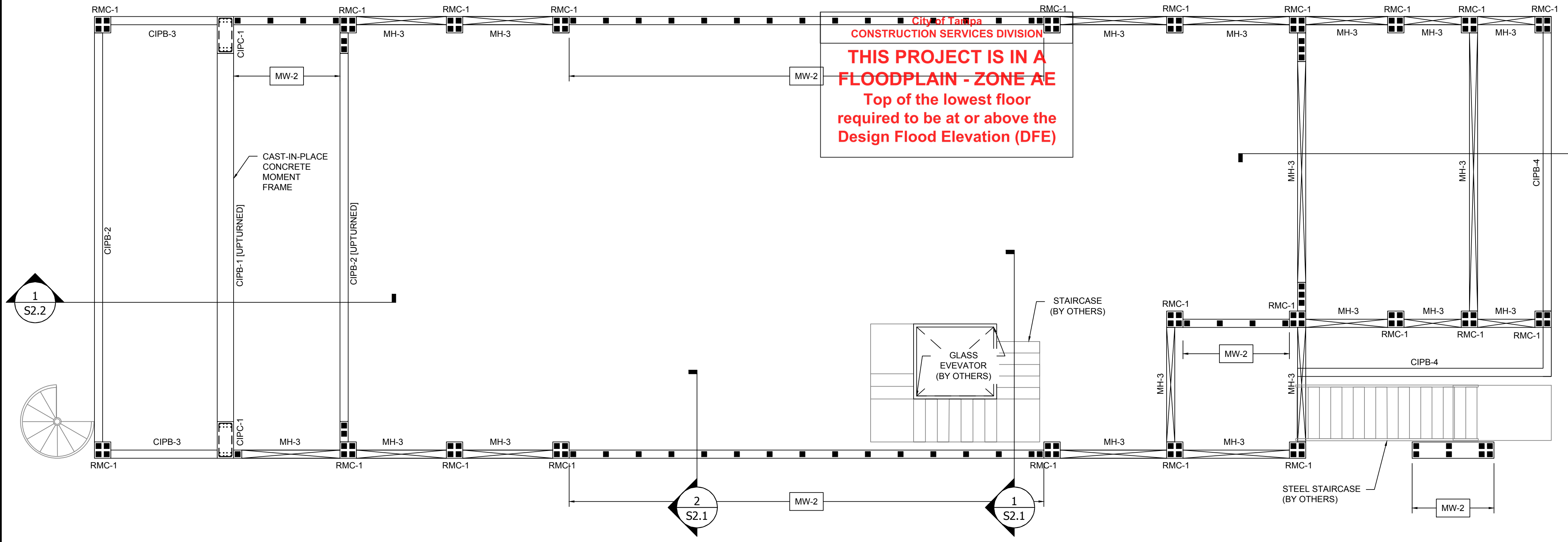
DESIGNATION	WIDTH	VERTICAL REINFORCEMENT	HORIZONTAL REINFORCEMENT	BOND BEAM
MW-1	8"	#5 CONT. @ 48" O.C. IN FULLY GROUTED CELLS	9 #4 LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL
MW-2	8"	#5 CONT. @ 32" O.C. IN FULLY GROUTED CELLS	9 #4 LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL

MARK	TYPE	MEMBER SIZE	ADDL REINFORCEMENT	NOTES
MH-1	PRE-CAST	8F8	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-2	PRE-CAST	8F16	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-3	PRE-CAST	8F24	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-4	PRE-CAST	8F32	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)

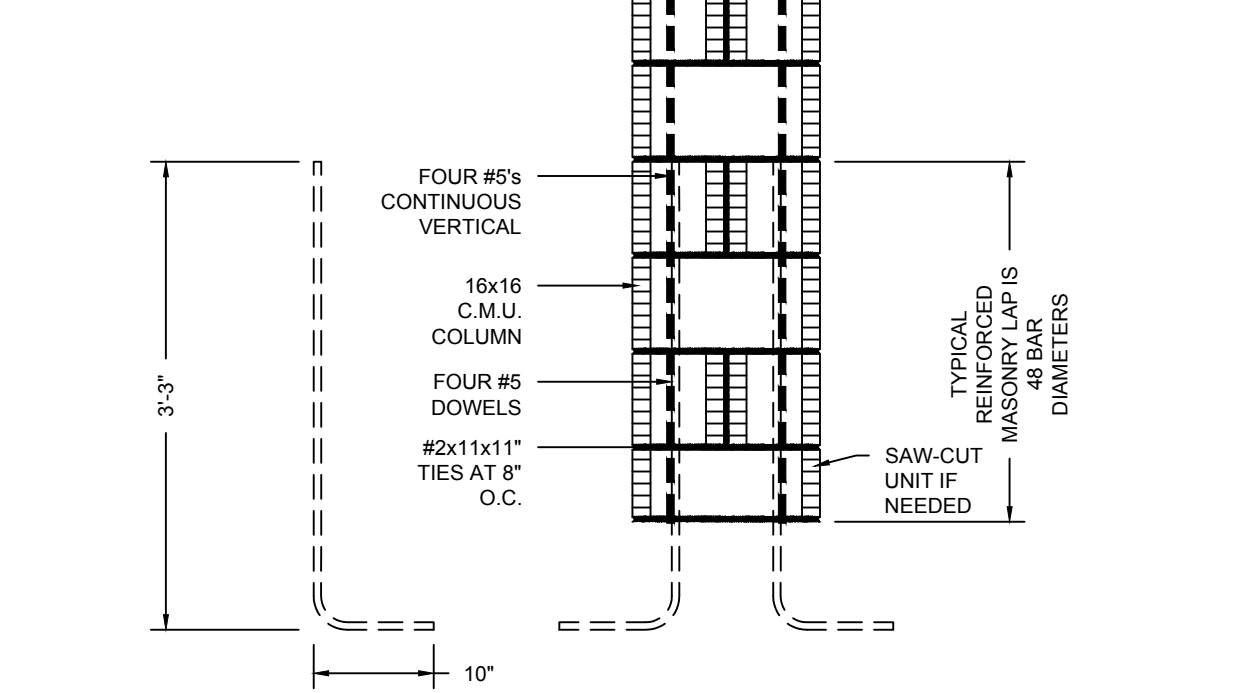
MASONRY HEADER SCHEDULE NOTES:
1. LINTELS DESIGNED USING PRECAST CAST-CRETE PRODUCTS. FOR MORE INFORMATION GO TO WWW.PRECASTCONCRETE.COM OR CALL 1-800-999-4641.
2. OTHER LINTEL MANUFACTURER'S PRODUCTS CAN BE USED ONLY UPON APPROVAL FROM ENGINEER OF RECORD.
3. FIELD CUT UNITS AS REQUIRED.
4. FOUR INCH BEARING REQUIRED.
5. PROVIDE TEMPORARY SUPPORT ON LINTELS REQUIRING GROUT FILL.



1
S1.2
CAST IN PLACE DETAILS
SCALE: SCALE : 1" = 1'-0"



2
S1.2
TYPICAL MASONRY HEADER
SCALE: 3/4" = 1'-0"



3
S1.2
RMC-1 MASONRY COLUMN
SCALE: 3/4" = 1'-0"

GROUND LEVEL WALL PLAN
SCALE: 3/16" = 1'-0"

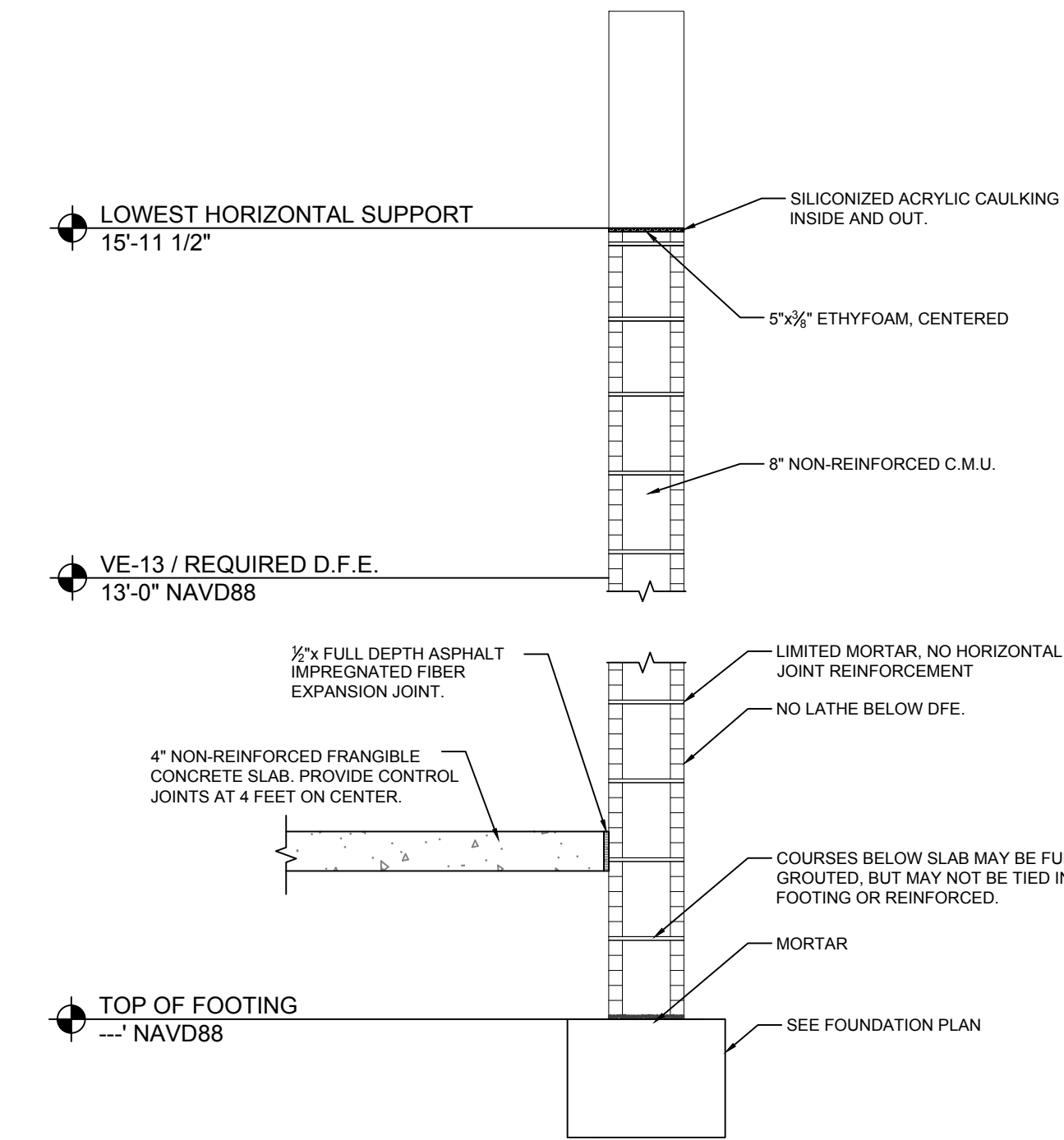
City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
 7/21/2022

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REVIEWED FOR CODE COMPLIANCE

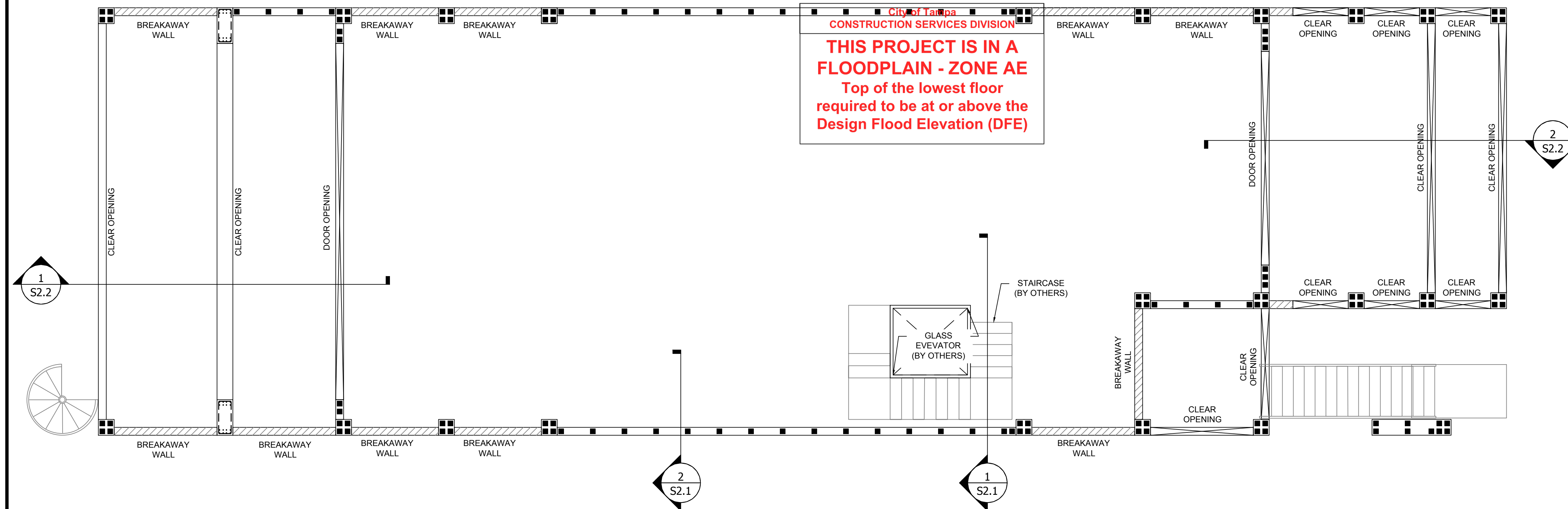
BREAKAWAY NOTES:

1. OBSTRUCTED FLOOD PATH (PERPENDICULAR TO SEAWALL) = 10.33 FT / 36 FEET = 28.7% < 40% MAX



NOTE: BUILD UP BREAKAWAY WALL AT THE SAME TIME AS THE ADJACENT COLUMNS AND PERMANENT STRUCTURE. THIS WILL ALLOW FOR TIGHT JOINTS. BREAKAWAY WALL MUST BE HOLLOW AND UN-REINFORCED, BUT MAY BE MORTARED TIGHTLY TO ADJACENT PERMANENT STRUCTURE.

1
 S1.3
BREAKAWAY WALL DETAIL - CMU
 SCALE: 3/4" = 1'-0"



City of Tampa
CONSTRUCTION SERVICES DIVISION

THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
 Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

GROUND LEVEL BREAKAWAY WALL PLAN
 SCALE: 3/16" = 1'-0"

City of Tampa
 CONSTRUCTION SERVICES DIVISION
 PLAN APPROVAL
 7/21/2022

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REVIEWED FOR CODE COMPLIANCE

1500 A WEST BUSCH BLVD.
 TAMPA, FL 33612
 WWW.BELTEENGINEERING.COM

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I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE STRUCTURE, SYSTEMS AND OTHER ELEMENTS OF THIS DESIGN COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION 2020, ALL OTHER ELEMENTS, SYSTEMS AND OTHER ELEMENTS OF THIS DESIGN ARE THE RESPONSIBILITY OF THE BUILDER.

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PROJECT INFORMATION:
 DESIGN CRITERIA
 NEW PRIVATE RESIDENCE
 34 ADAILIA AVE
 TAMPA, FL 33606

JOB NO. ET22-0219
 DRAWN: KT
 DESIGN: AZ
 CHECK: SD

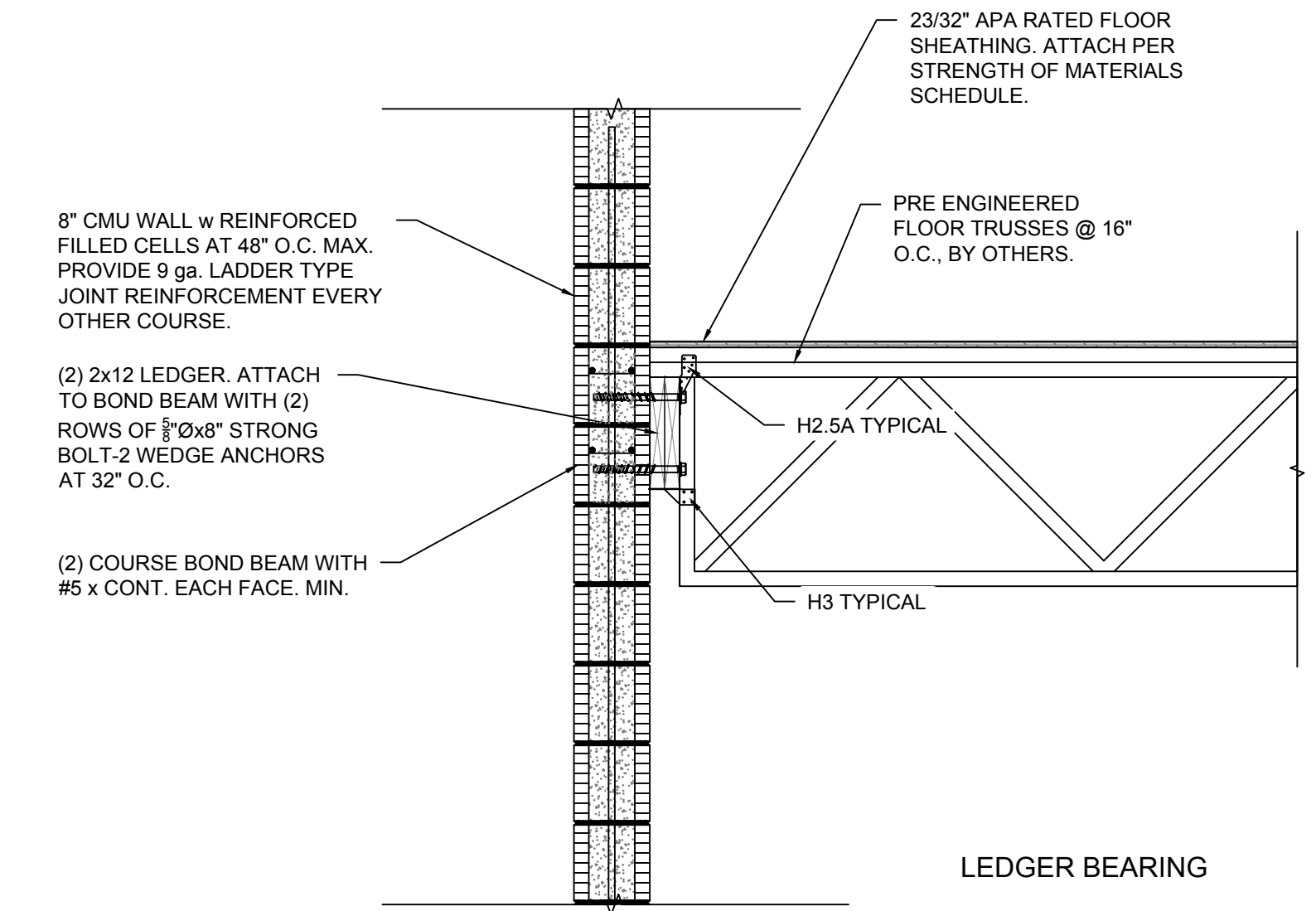
GROUND LEVEL BREAKAWAY WALL PLAN

S1.3

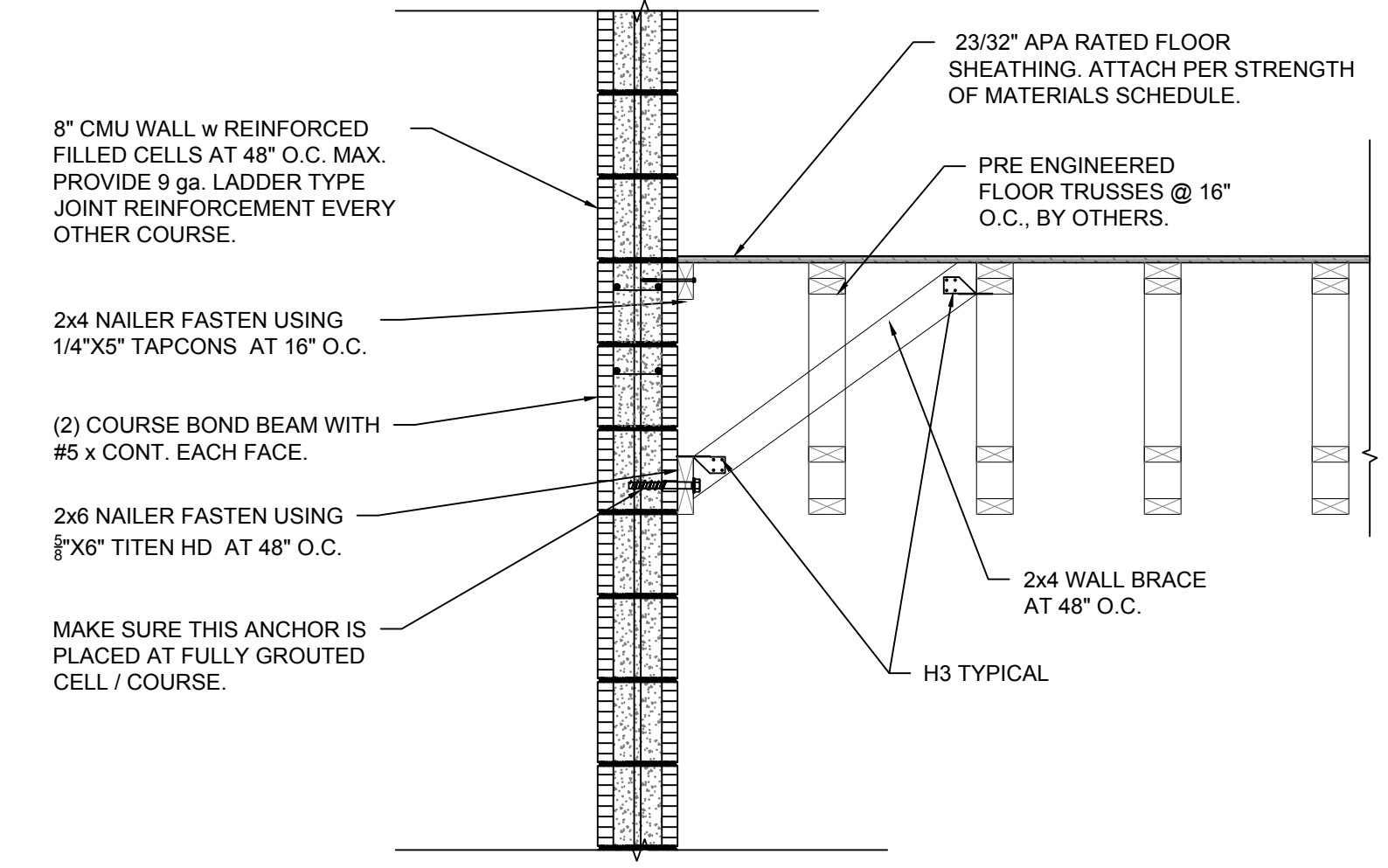
City of Tampa
CONSTRUCTION SERVICES DIVISION
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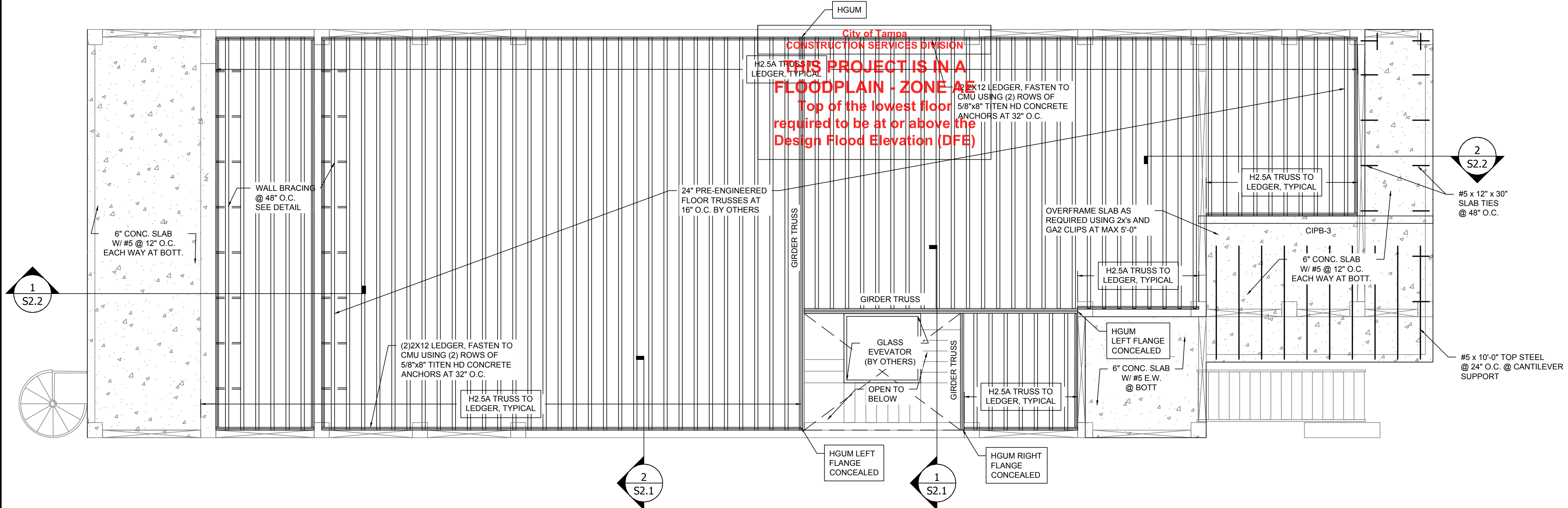
REVIEWED FOR CODE COMPLIANCE



1 TRUSS-TO-WALL DETAIL - PERPENDICULAR
 S1.4 SCALE: 3/4" = 1'-0"



2 TRUSS-TO-CMU WALL DETAIL - PARALLEL
 S1.4 SCALE: 3/4" = 1'-0"



SECOND LEVEL FLOOR FRAMING PLAN
 SCALE: 3/16" = 1'-0"

City of Tampa
 CONSTRUCTION SERVICES DIVISION
 PLAN APPROVAL
 7/21/2022

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 TAMPA, FL 33612
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 34 ADALIA AVE
 TAMPA, FL 33606

JOB NO. ET22-0219
 DRAWN - KT
 DESIGN - AZ
 CHECK - SD

SECOND LEVEL FRAMING PLAN
S1.4

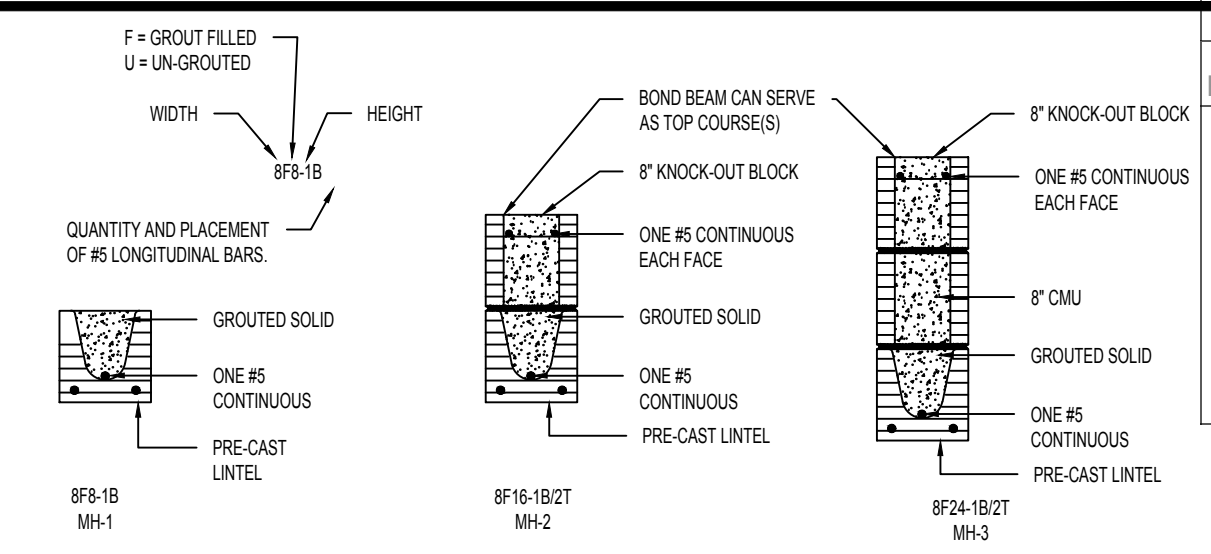
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REVIEWED FOR CODE COMPLIANCE

MASONRY WALL SCHEDULE				
DESIGNATION	WIDTH	VERTICAL REINFORCEMENT	HORIZONTAL REINFORCEMENT	BOND BEAM
MW-1	8"	#5 CONT. @ 48" O.C. IN FULLY GROUTED CELLS	9 ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL
MW-2	8"	#5 CONT. @ 32" O.C. IN FULLY GROUTED CELLS	9 ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL

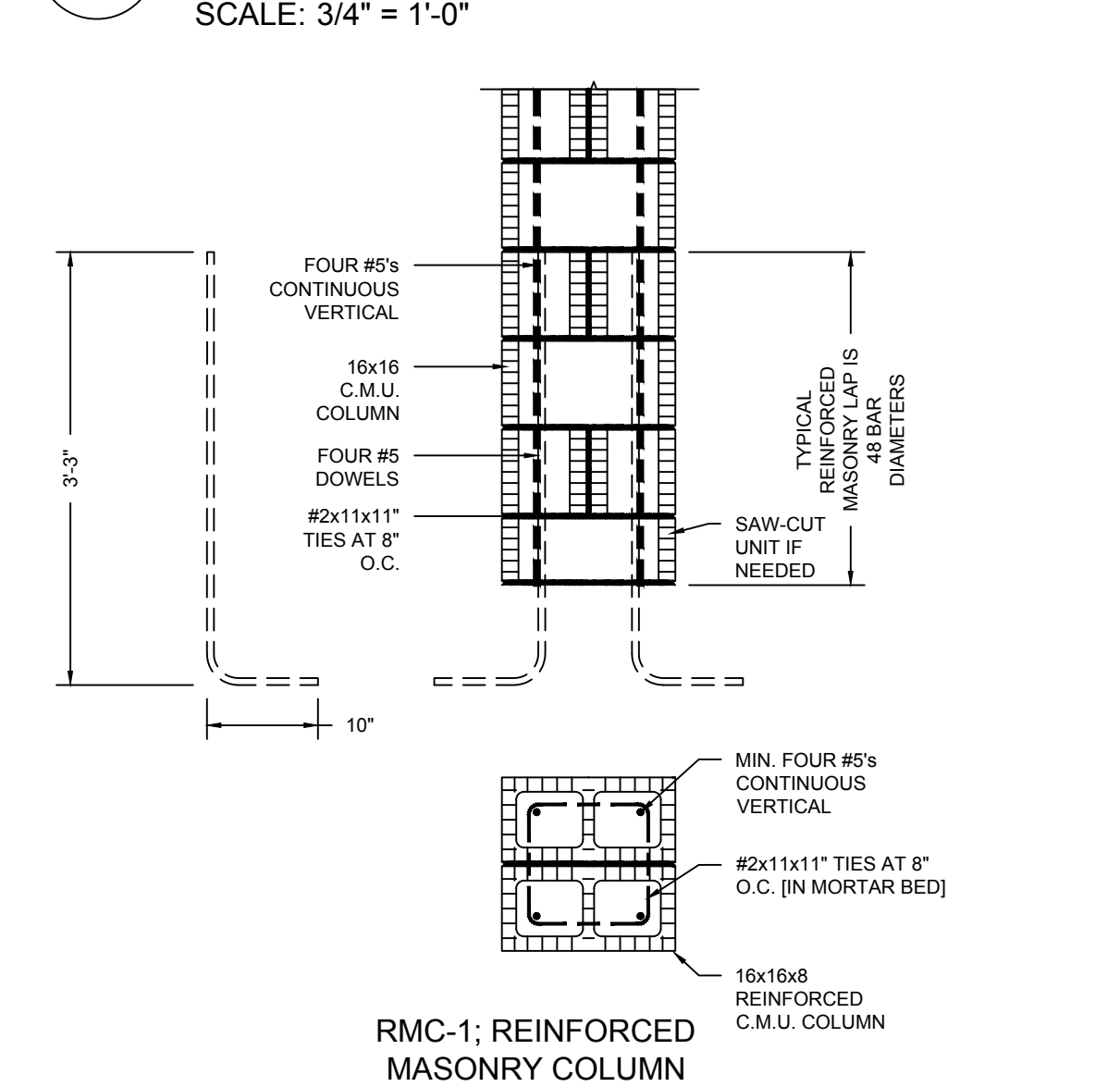
MASONRY HEADER SCHEDULE				
MARK	TYPE	MEMBER SIZE	ADDL REINFORCEMENT	NOTES
MH-1	PRE-CAST	8F8	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-2	PRE-CAST	8F16	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-3	PRE-CAST	8F24	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-4	PRE-CAST	8F32	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)

MASONRY HEADER SCHEDULE NOTES:
1. LINTELS DESIGNED USING PRECAST CAST-CRETE PRODUCTS. FOR MORE INFORMATION GO TO WWW.CAST-CRETE.COM OR CALL 1-800-999-4641.
2. OTHER LINTEL MANUFACTURER'S PRODUCTS CAN BE USED ONLY UPON APPROVAL FROM ENGINEER OF RECORD.
3. FIELD CUT UNITS AS REQUIRED.
4. FOUR INCH BEARING REQUIRED.
5. PROVIDE TEMPORARY SUPPORT ON LINTELS REQUIRING GROUT FILL.

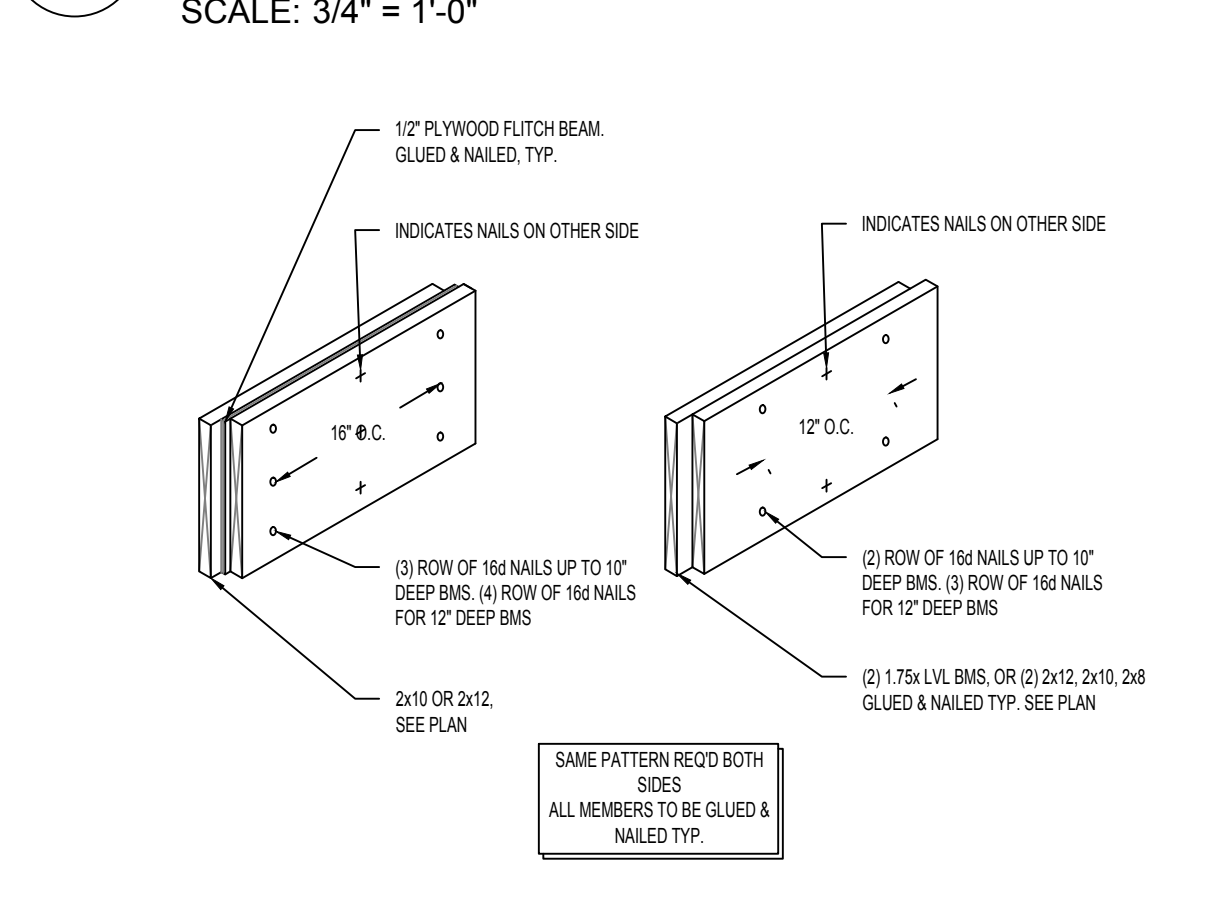


MASONRY LINTEL NOTES:
1) PRE-CAST LINTELS ARE TO BE CASTCRETE (OR EQUAL)
2) FOLLOW MANUFACTURER'S SPECIFICATIONS AND DETAILS. PROVIDE 8" MINIMUM END BEARING AND TEMPORARY SHORING AS REQUIRED.

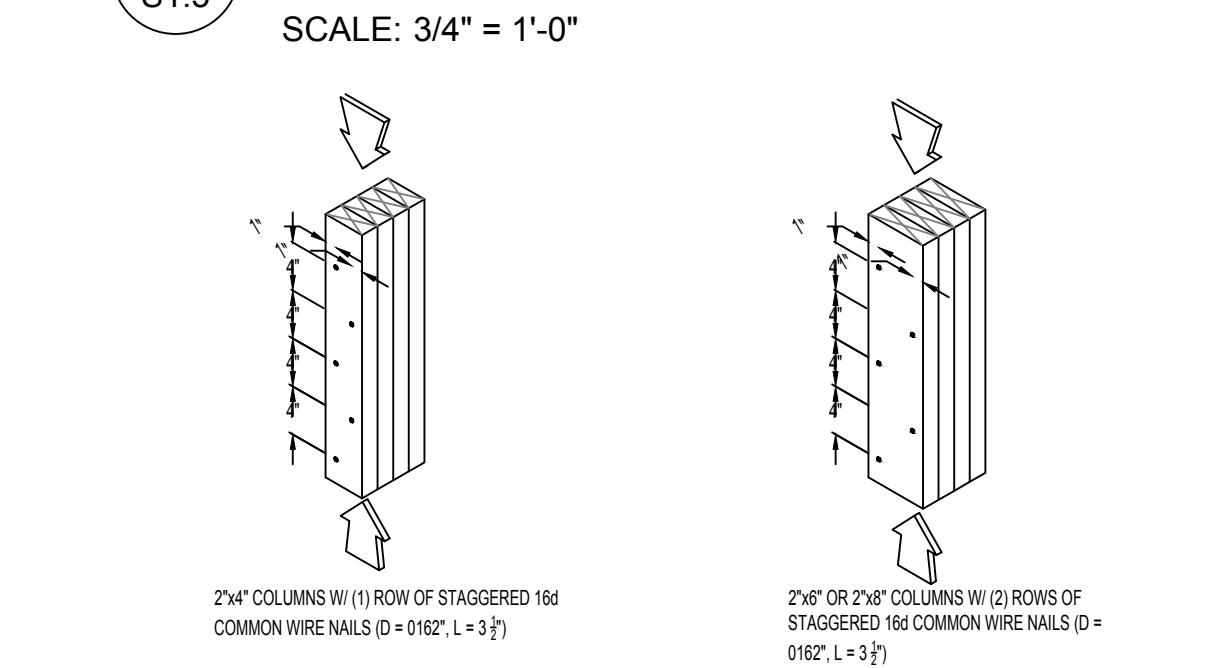
1 TYPICAL MASONRY HEADER
S1.5 SCALE: 3/4" = 1'-0"



2 RMC-1 MASONRY COLUMN
S1.5 SCALE: 3/4" = 1'-0"

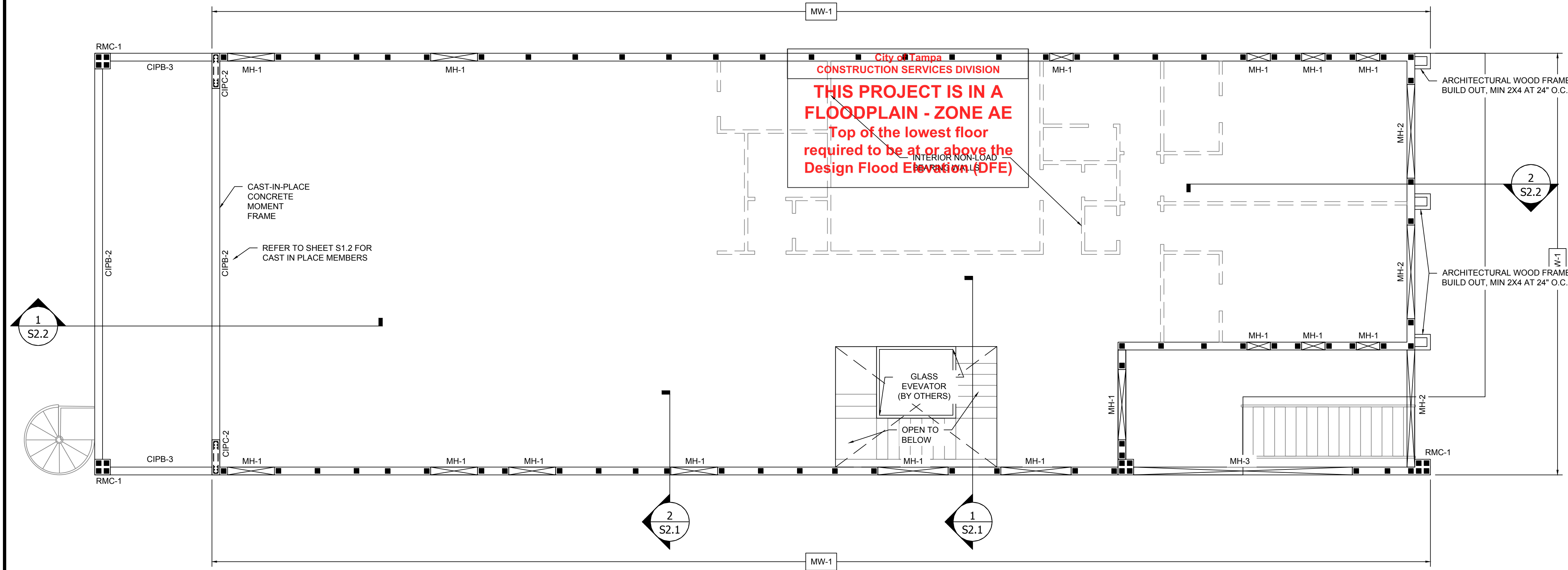


3 DETAIL TYPICAL MULTI-PLY BEAM OR HEADER NAILING
S1.5 SCALE: 3/4" = 1'-0"



NOTES:
1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN
2) ALL NAILS PENETRATE AT LEAST 1/2 OF THE THICKNESS OF THE LAST LAMINATION.
3) FOR 3-PLY COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF 8 U.C. SAME NUMBER OF ROWS, SAME SPACING)
4) FOR 4-PLY, PROVIDE 7/8 DIA x 5 1/2" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
5) FOR 5-PLY, PROVIDE 7/8 DIA x 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
6) REFER TO MDS SECTION 15.3 FOR ADDITIONAL INFORMATION

4 DETAIL TYP. MULTI-PLY POST NAILING
S1.5 SCALE: 3/4" = 1'-0"



SECOND LEVEL WALL PLAN
SCALE: 3/16" = 1'-0"

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022
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REVIEWED FOR CODE COMPLIANCE
S1.5
1500 A WEST BUSCH BLVD.
TAMPA, FL 33612
WWW.BELTENGINEERING.COM

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON 07/21/2022 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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SAMUEL P. DEAN, P.E. #83915
sdean@beltengineering.com

DATE: 05/06/2022
PERMIT SET: 06/13/2022
RESPONSE TO COMMENTS #1: 07/07/2022
RESPONSE TO COMMENTS #2:
NO. 1
ISSUE: PERMIT SET
RESPONSE TO COMMENTS #1
RESPONSE TO COMMENTS #2
2
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NO.	ISSUE	DATE
1	PERMIT SET	05/06/2022
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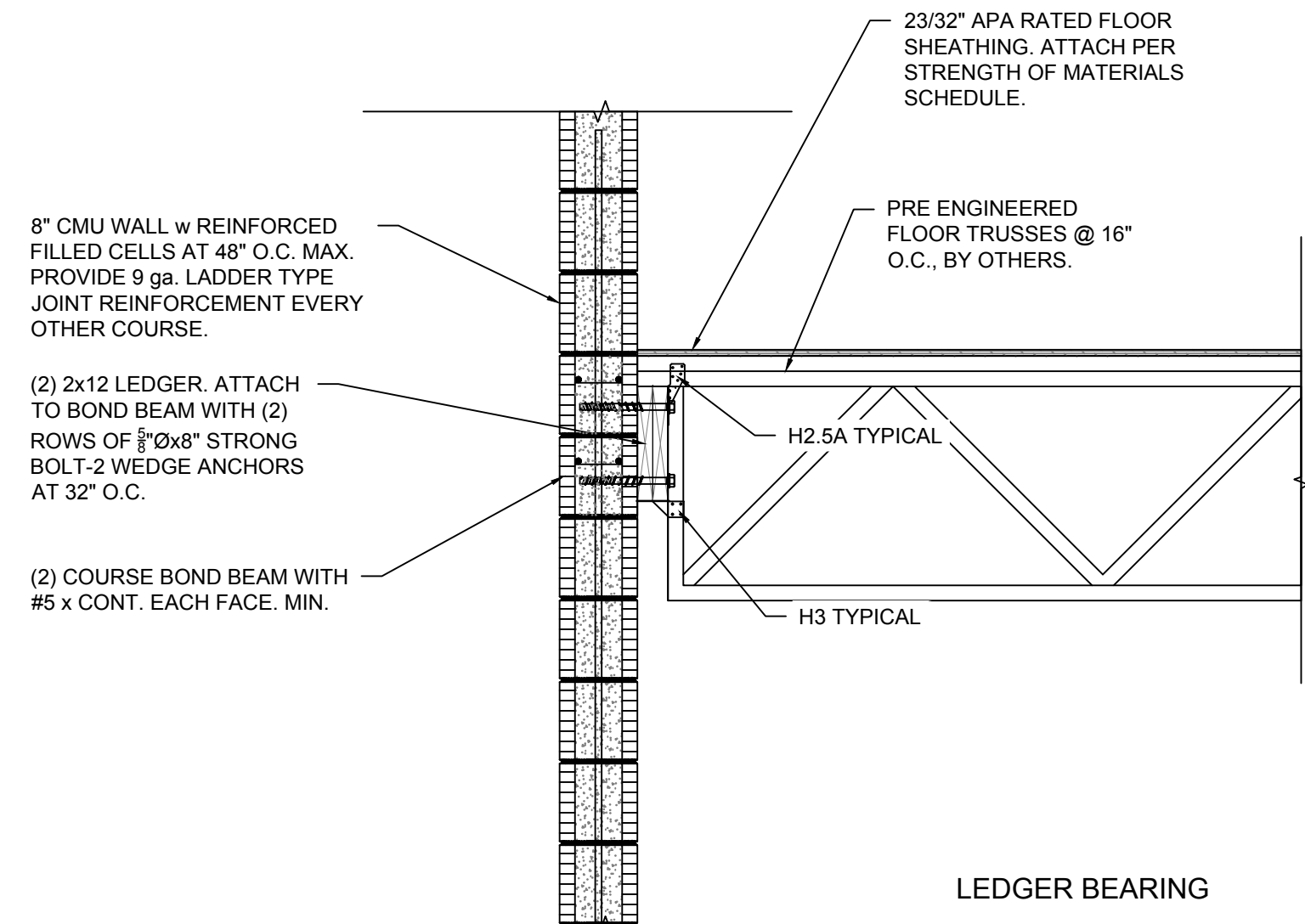
PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
34 ADAILIA AVE
TAMPA, FL 33606
JOB NO: ET22-0219
DRAWN: KT
DESIGN: AZ
CHECK: SD

SECOND LEVEL WALL PLAN

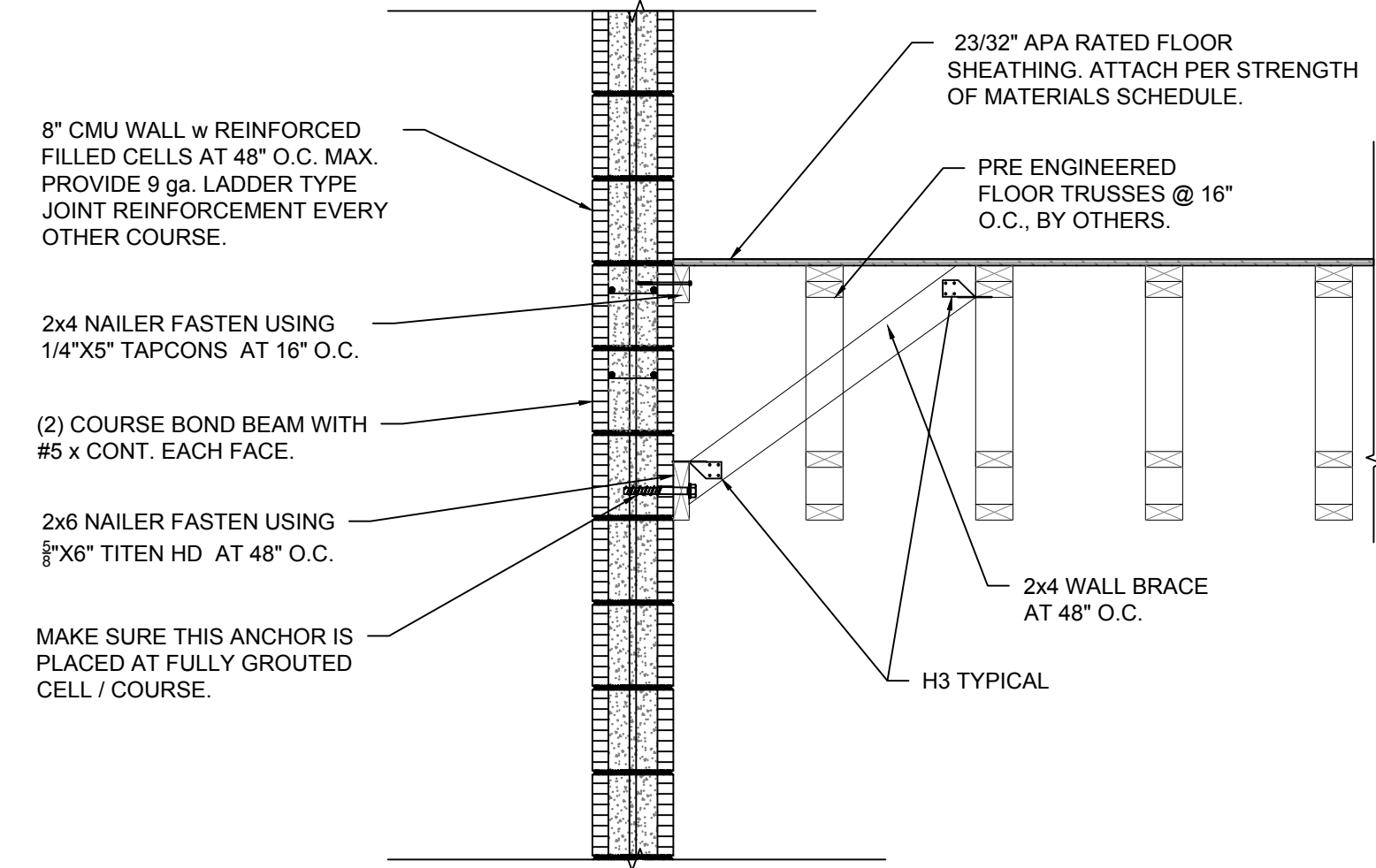
S1.5

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

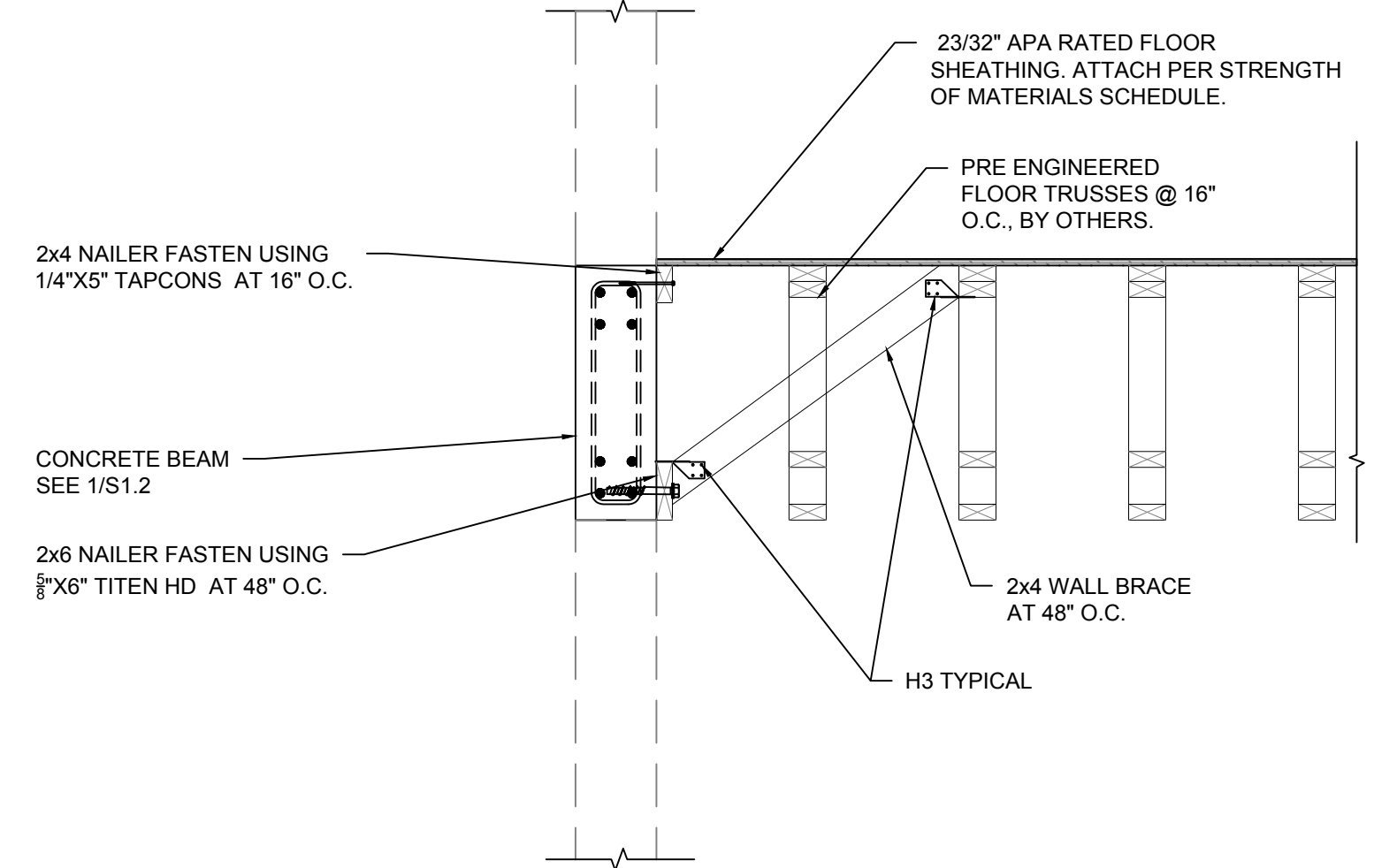
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REVIEWED FOR CODE COMPLIANCE



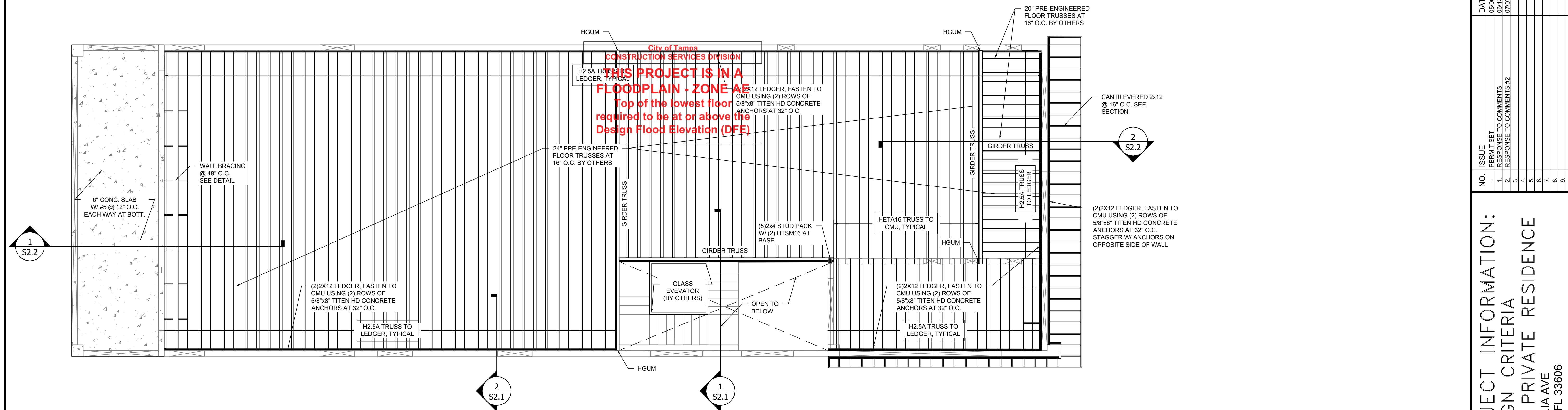
1 TRUSS-TO-WALL DETAIL - PERPENDICULAR
S1.6 SCALE: 3/4" = 1'-0"



2 TRUSS-TO-CMU WALL DETAIL - PARALLEL
S1.4 SCALE: 3/4" = 1'-0"



3 TRUSS-TO-CIP BEAM DETAIL - PARALLEL
S1.6 SCALE: 3/4" = 1'-0"



THIRD LEVEL FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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1500A WEST BUSCH BLVD.
TAMPA, FL 33612
WWW.BELTEENGINEERING.COM

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN AND SYSTEMS FOR THIS STRUCTURE HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 7TH EDITION 2020, ALL OTHER ELEMENTS, SYSTEMS AND MATERIALS ARE THE RESPONSIBILITY OF THE BUILDER.

SAMUEL P. DEAN, P.E. #83915
sdean@belteengineering.com

NO.	ISSUE	DATE
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3	RESPONSE TO COMMENTS #2	07/07/2022
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PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
34 ADALIA AVE
TAMPA, FL 33606

JOB NO. ET22-0219
DRAWN - KT
DESIGN - AZ
CHECK - SD

THIRD LEVEL FLOOR FRAMING PLAN
S1.6

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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REVIEWED FOR CODE COMPLIANCE

MASONRY WALL SCHEDULE				
DESIGNATION	WIDTH	VERTICAL REINFORCEMENT	HORIZONTAL REINFORCEMENT	BOND BEAM
MW-1	8"	#5 CONT. @ 48" O.C. IN FULLY GROUTED CELLS	9 ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL
MW-2	8"	#5 CONT. @ 32" O.C. IN FULLY GROUTED CELLS	9 ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL

MASONRY HEADER SCHEDULE				
MARK	TYPE	MEMBER SIZE	ADDL REINFORCEMENT	NOTES
MH-1	PRE-CAST	8F8	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-2	PRE-CAST	8F16	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-3	PRE-CAST	8F24	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-4	PRE-CAST	8F32	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)

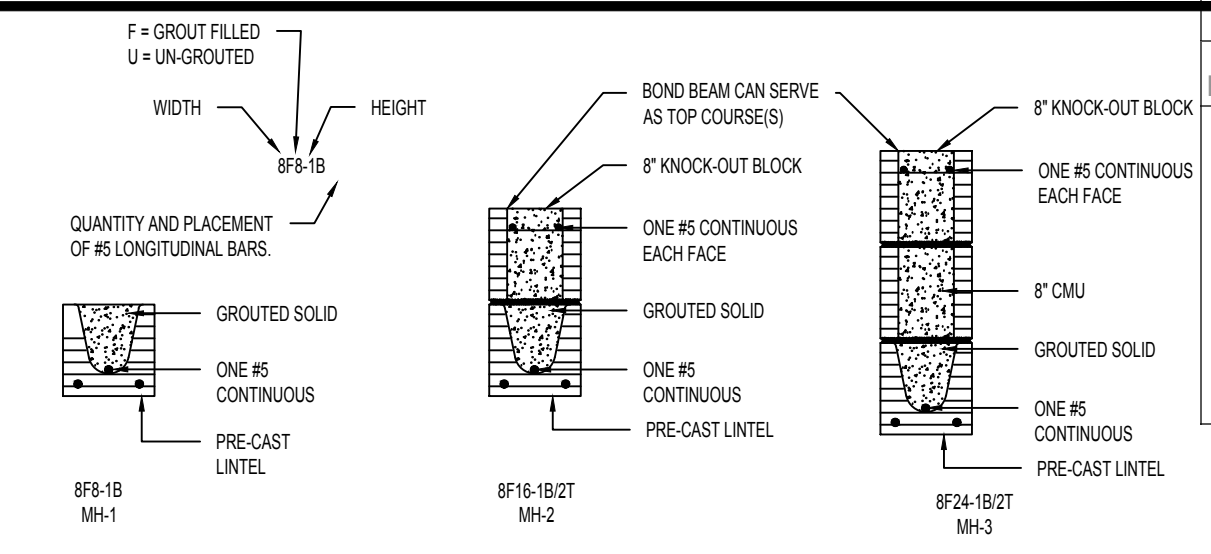
MASONRY HEADER SCHEDULE NOTES:
 1. LINTELS DESIGNED USING PRECAST CAST-CRETE PRODUCTS. FOR MORE INFORMATION GO TO WWW.CAST-CRETE.COM OR CALL 1-800-999-4641.
 2. OTHER LINTEL MANUFACTURER'S PRODUCTS CAN BE USED ONLY UPON APPROVAL FROM ENGINEER OF RECORD.
 3. FIELD CUT UNITS AS REQUIRED.
 4. FOUR INCH BEARING REQUIRED.
 5. PROVIDE TEMPORARY SUPPORT ON LINTELS REQUIRING GROUT FILL.

WOOD WALL SCHEDULE						
DESIGNATION	WALL STUDS	SHEATHING	SOLE PLATE ANCHORAGE	STUD TO DOUBLE TOP PLATE	STUD TO SOLE PLATE	HOLDDOWN @ EACH END OF WALL SEGMENT, TRANSITION, JAMB AND CORNER
WW-1	2X6 @ 16" O.C.	FOR EXTERIOR WALLS USE 15/32" PLYWOOD. FOR INTERIOR WALLS USE 5/8" GYPSUM	16d NAILS @ 6" O.C.	SP-2	SP-1	DTT2Z [CMU] OR (2)CS16 [WOOD]

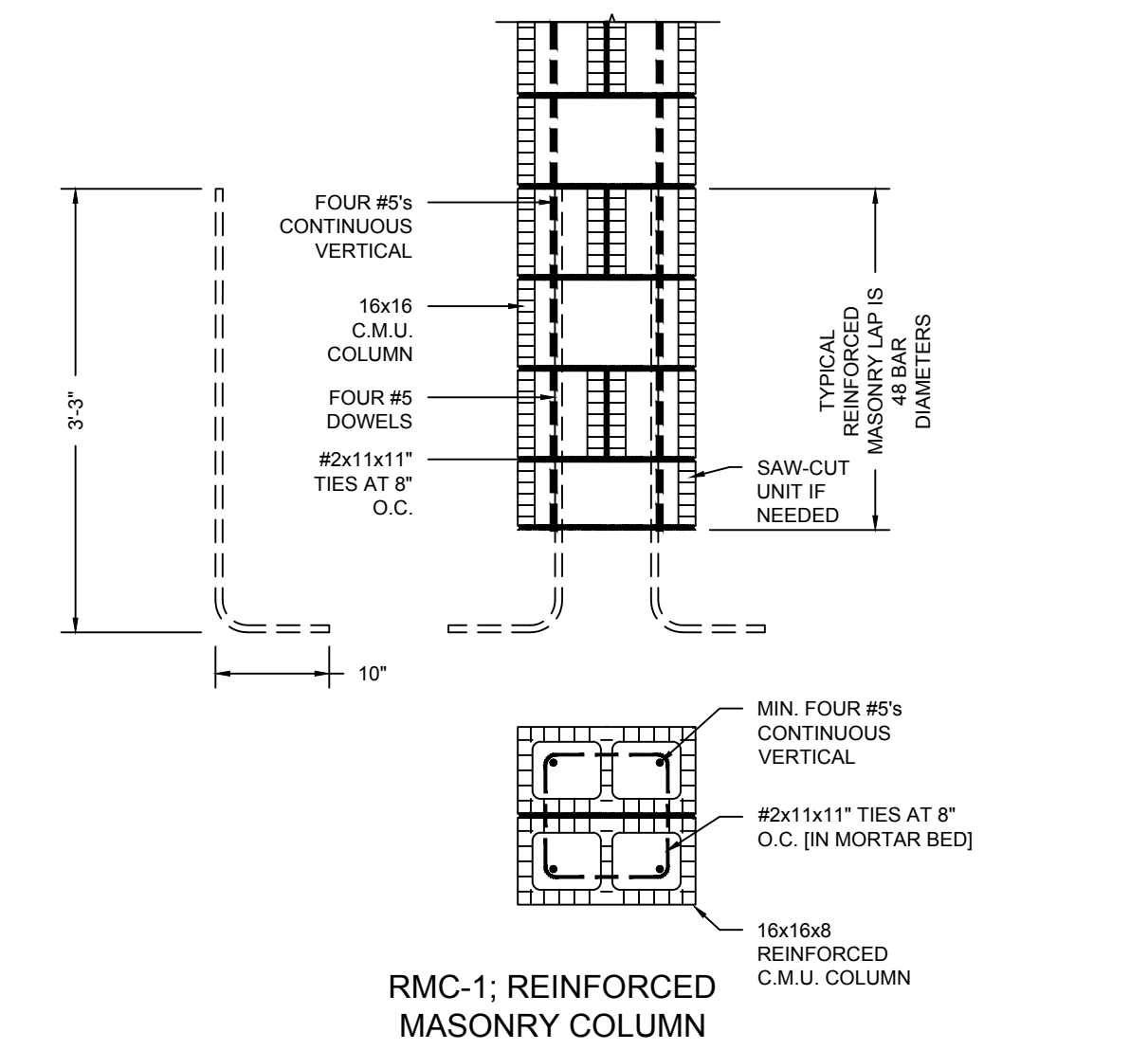
NOTES:
 1) ALL EXTERIOR WALLS ARE TO RECEIVE F GYP ON INTERIOR FACE AND EXTERIOR FINISHES PER ARCHITECTURAL. U.N.O.
 2) ALL INTERIOR WALLS ARE TO RECEIVE F GYP ON EACH FACE
 3) SOLID BLOCK ALL WALLS IN SCHEDULE INCLUDING EXTERIOR AND INTERIOR LOAD BEARING WALLS
 4) ATTACH SHEATHING PER STRENGTH OF MATERIALS. U.N.O.

WOOD HEADER / BEAM SCHEDULE					
MARK	MEMBER	JACK STUDS	KING STUDS / POST	HEADER TO JAMB STUD, EACH END	JAMB BASE
WH-1	(3)2x8's	1	1	CS16	MTS16 / CS16
WH-2	(3)2x12's	2	3	(2)CS16	(2)CS16

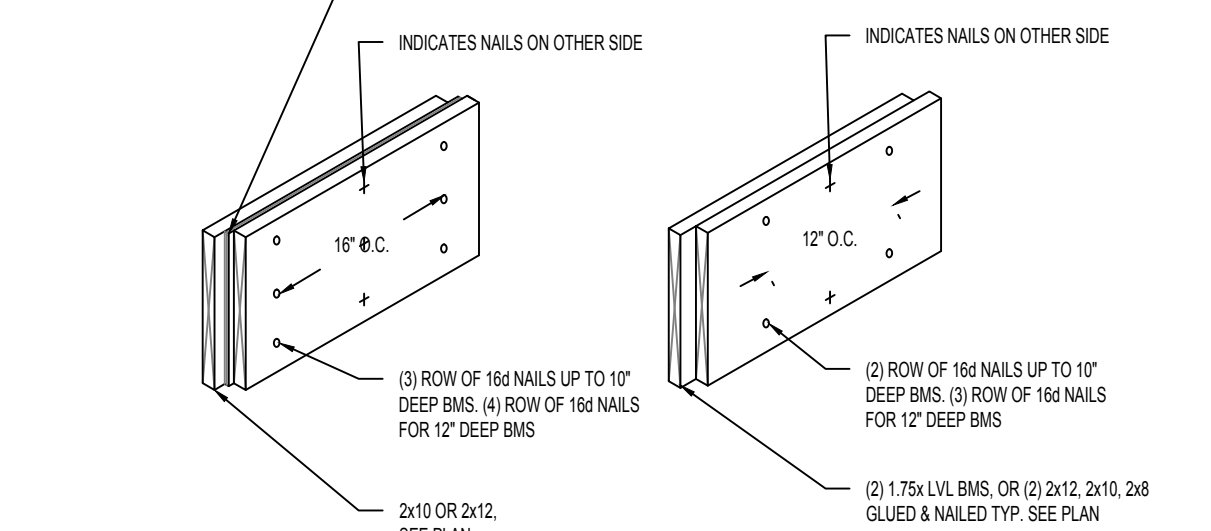
WOOD HEADER / BEAM SCHEDULE NOTES:
 1. DIMENSIONAL LUMBER IS #2 SYP, U.N.O.
 2. LVLs ARE 2,850 Fb AND 2.0E, U.N.O.
 3. MULTI-PLY MEMBERS ARE TO BE GLUED AND NAILED/SCREWED TO EACH OTHER PER TYPICAL DETAILS.
 4. ADD ADDITIONAL LAYER(S) OF 7/8" PLYWOOD TO MATCH WALL FRAMING WIDTH.
 5. STUD PACKS SHALL BE SAME WIDTH AS STUDS IN WALL.
 6. ALL JAMB STUDS SHOULD BE CONTINUOUSLY SUPPORTED TO FOUNDATION INCLUDING FLOOR FRAMING CAVITY.
 6.1. FLOOR CAVITY BLOCKING SHOULD MATCH QUANTITY OF STUDS OF JAMB FROM FLOOR ABOVE.
 6.2. WHERE UPPER LEVEL OPENING DOESN'T ALIGN WITH LOWER LEVEL OPENING, PROVIDE FULL HEIGHT STUDS IN LOWER LEVEL ALIGNED WITH UPPER LEVEL JAMB STUDS.



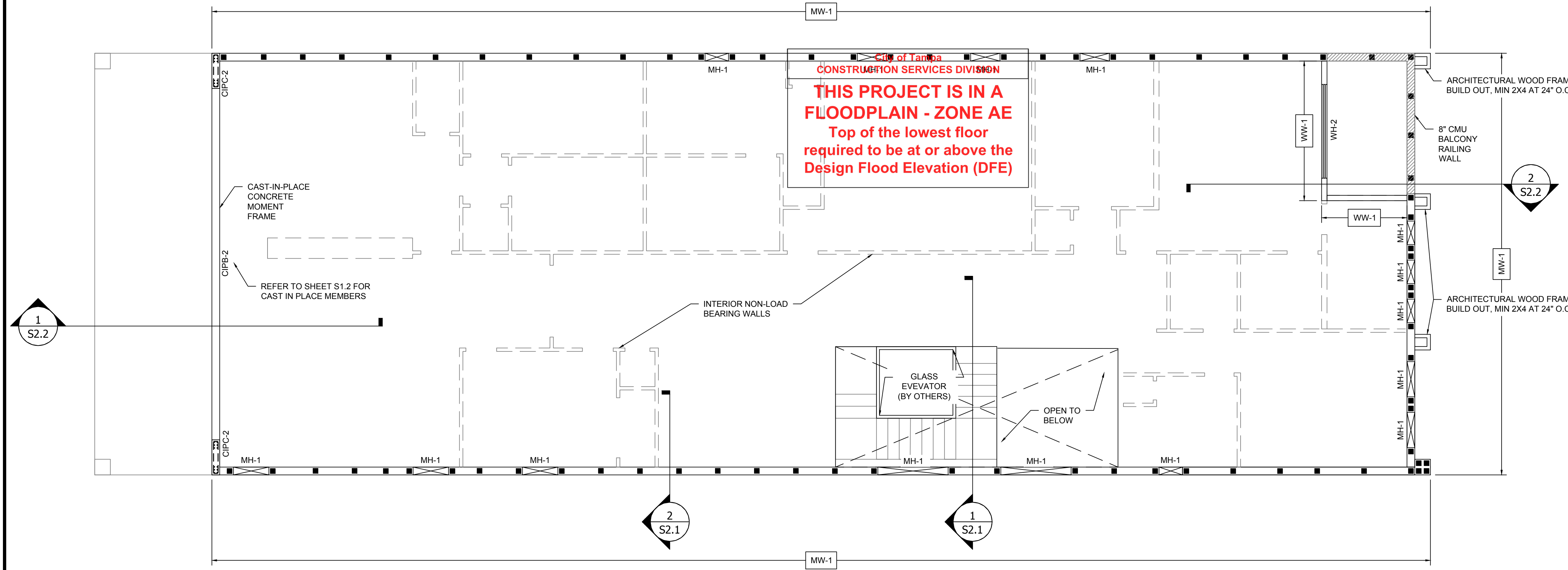
MASONRY LINTEL NOTES:
 1) PRE-CAST LINTELS ARE TO BE CASTCRETE (OR EQUAL)
 2) FOLLOW MANUFACTURER'S SPECIFICATIONS AND DETAILS. PROVIDE 8" MINIMUM END BEARING AND TEMPORARY SHORING AS REQUIRED.



3
S1.7
DETAIL TYPICAL MULTI-PLY BEAM OR HEADER NAILING
SCALE: 3/4" = 1'-0"



NOTES:
 1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN
 2) ALL WALLS PENETRATE AT LEAST 1" OF THE THICKNESS OF THE LAST LAMINATION.
 3) FOR 3-PLY COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF B.U.C. SAME NUMBER OF ROWS, SAME SPACING)
 4) FOR 4-PLY, PROVIDE 7/8" DIA x 5 1/2" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
 5) FOR 5-PLY, PROVIDE 7/8" DIA x 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
 6) REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION



THIRD LEVEL WALL PLAN
 SCALE: 3/16" = 1'-0"

City of Tampa
 CONSTRUCTION SERVICES DIVISION
 PLAN APPROVAL
 7/21/2022
 THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES. IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS FROM ANY OF THESE PLANS WITHOUT WRITTEN APPROVAL FROM THE CITY OF TAMPA CONSTRUCTION SERVICES DIVISION. THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES.

BE
 ENGINEERING

1500 A WEST BUCHS BLVD.
 TAMPA, FL 33612
 CA # 22884
 WWW.BELTENGINEERING.COM

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 sdean@beltengineering.com

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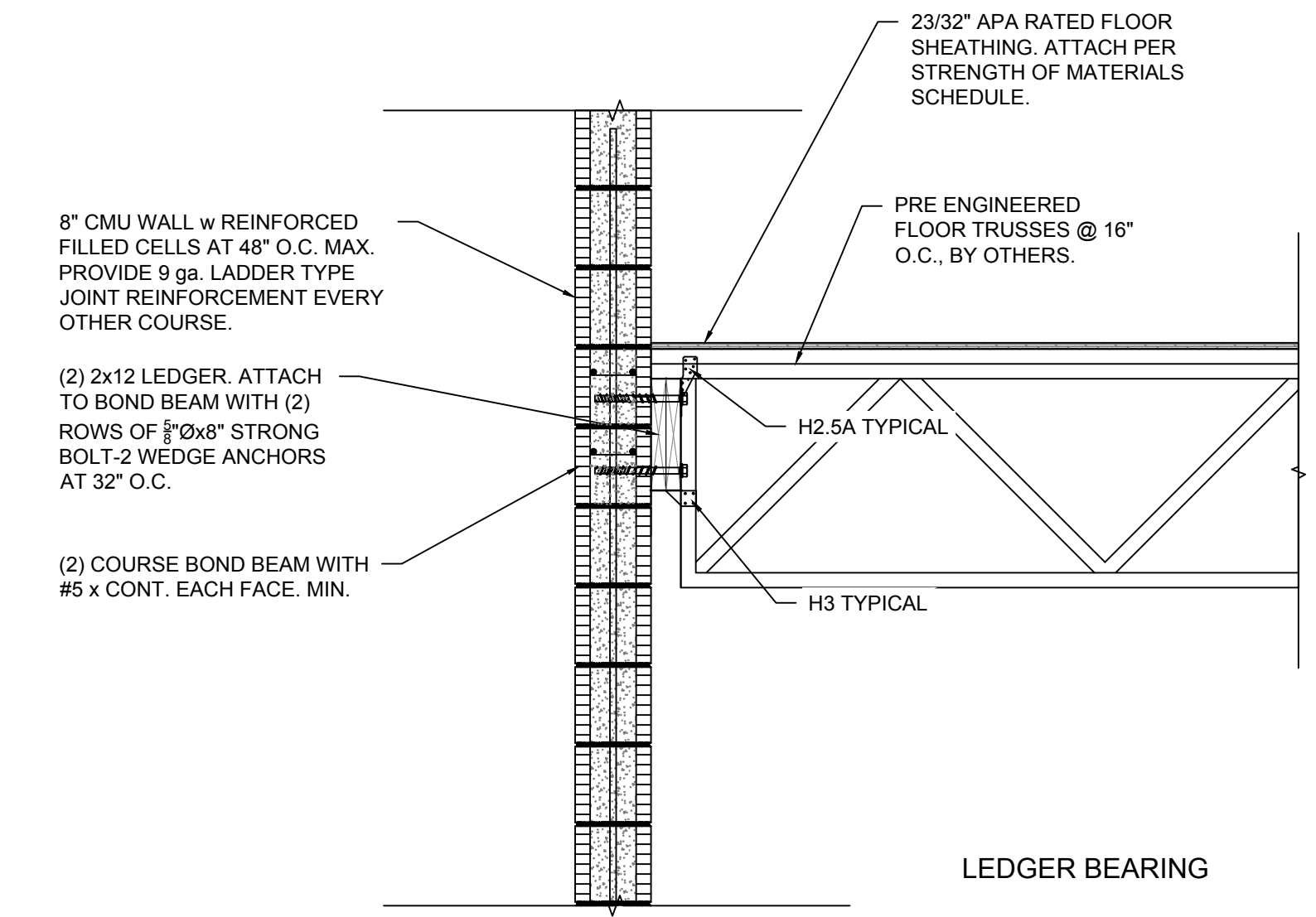
PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
 34 ADAILIA AVE
 TAMPA, FL 33606

JOB NO. ET22-0219
 DRAWN: KT
 DESIGN: AZ
 CHECK: SD

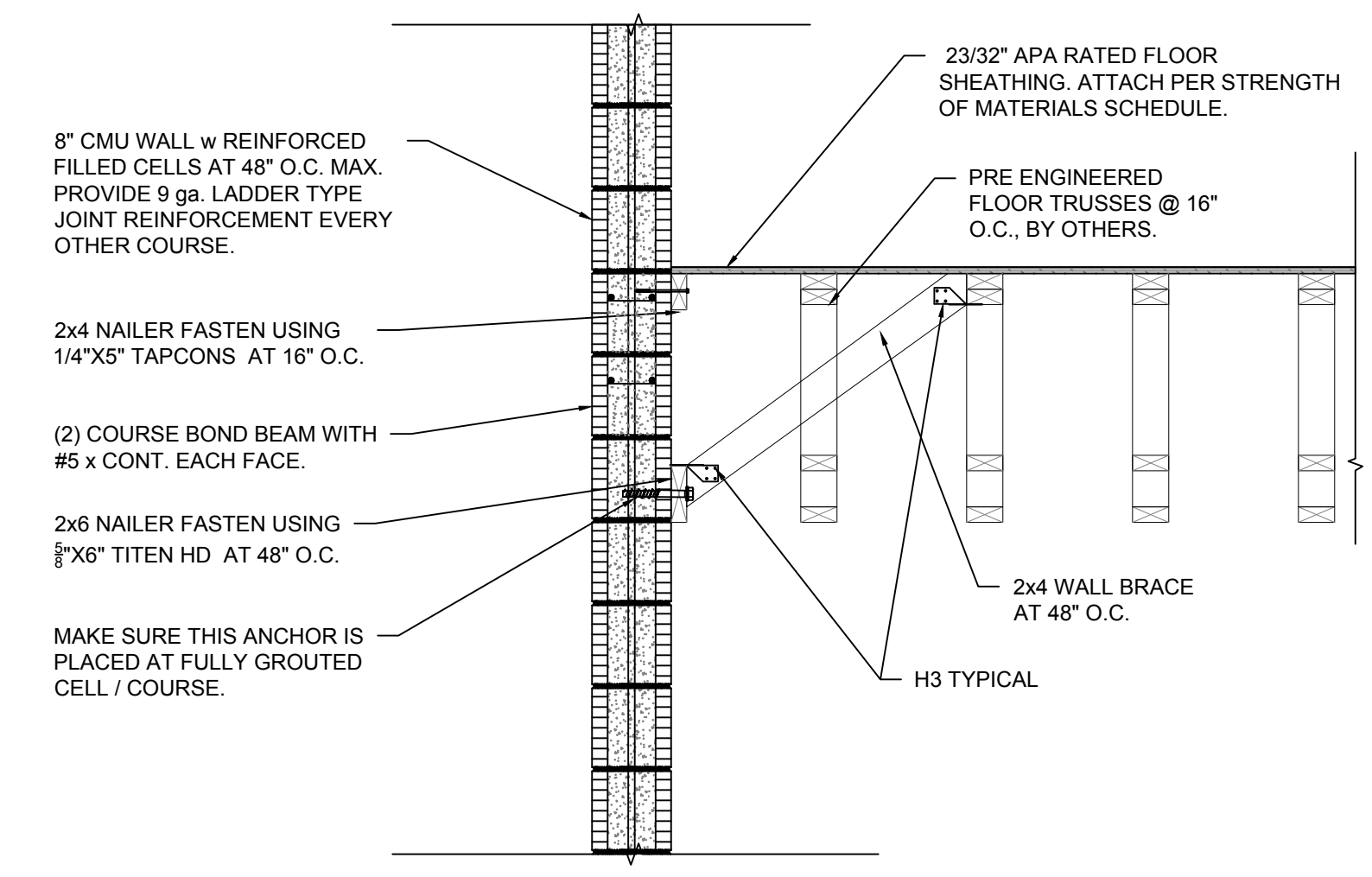
THIRD LEVEL WALL PLAN
S1.7

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

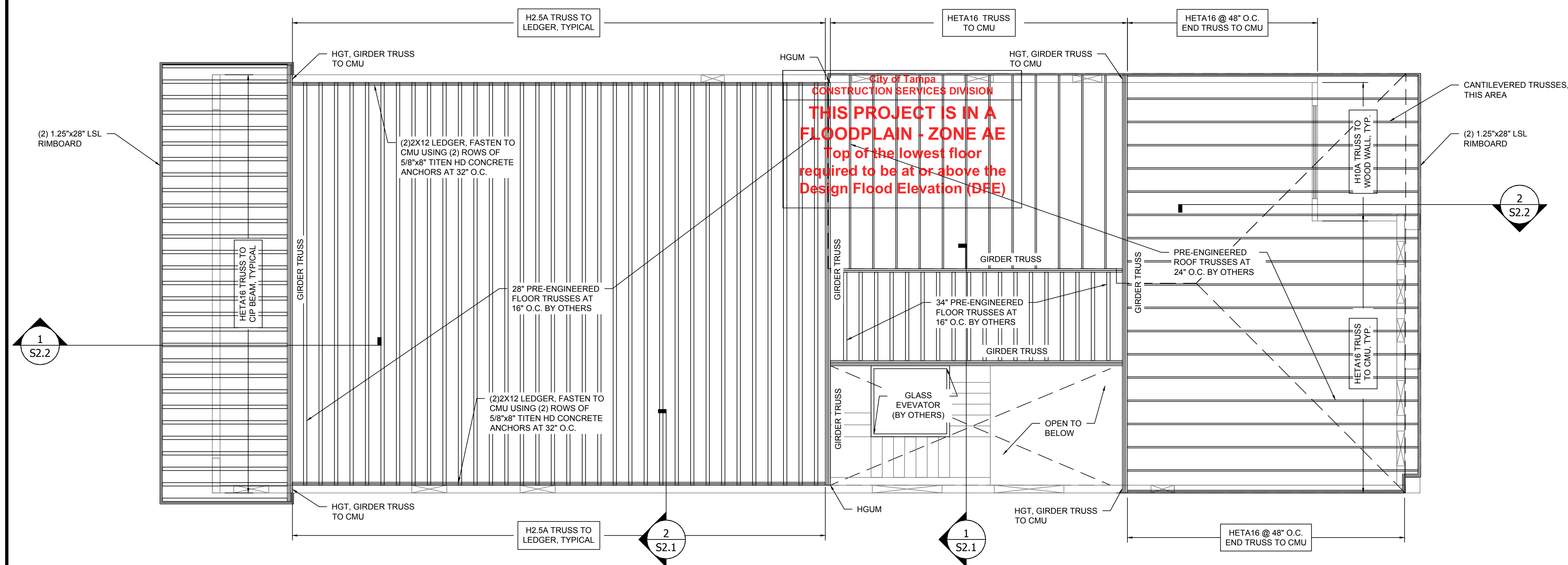
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REVIEWED FOR CODE COMPLIANCE



1 TRUSS-TO-WALL DETAIL - PERPENDICULAR
S1.8 SCALE: 3/4" = 1'-0"



2 TRUSS-TO-WALL DETAIL - PARALLEL
S1.8 SCALE: 3/4" = 1'-0"



City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A
FLOODPLAIN - ZONE AE
Top of the lowest floor
required to be at or above the
Design Flood Elevation (DFE)

ROOF / ROOF DECK / PENTHOUSE FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022

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1503A WEST BUSCH BLVD.
TAMPA, FL 33612
WWW.BELTEENGINEERING.COM

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PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
34 ADAILIA AVE
TAMPA, FL 33606

JOB NO. ET22-0219
DRAWN - KT
DESIGN - AZ
CHECK - SD

PENTHOUSE FLOOR
FRAMING PLAN
S1.8

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022
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REVIEWED FOR CODE COMPLIANCE

MASONRY WALL SCHEDULE				
DESIGNATION	WIDTH	VERTICAL REINFORCEMENT	HORIZONTAL REINFORCEMENT	BOND BEAM
MW-1	8"	#5 CONT. @ 48" O.C. IN FULLY GROUTED CELLS	9ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL
MW-2	8"	#5 CONT. @ 32" O.C. IN FULLY GROUTED CELLS	9ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL

MASONRY HEADER SCHEDULE				
MARK	TYPE	MEMBER SIZE	ADDL REINFORCEMENT	NOTES
MH-1	PRE-CAST	8F8	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-2	PRE-CAST	8F16	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-3	PRE-CAST	8F24	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)
MH-4	PRE-CAST	8F32	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)

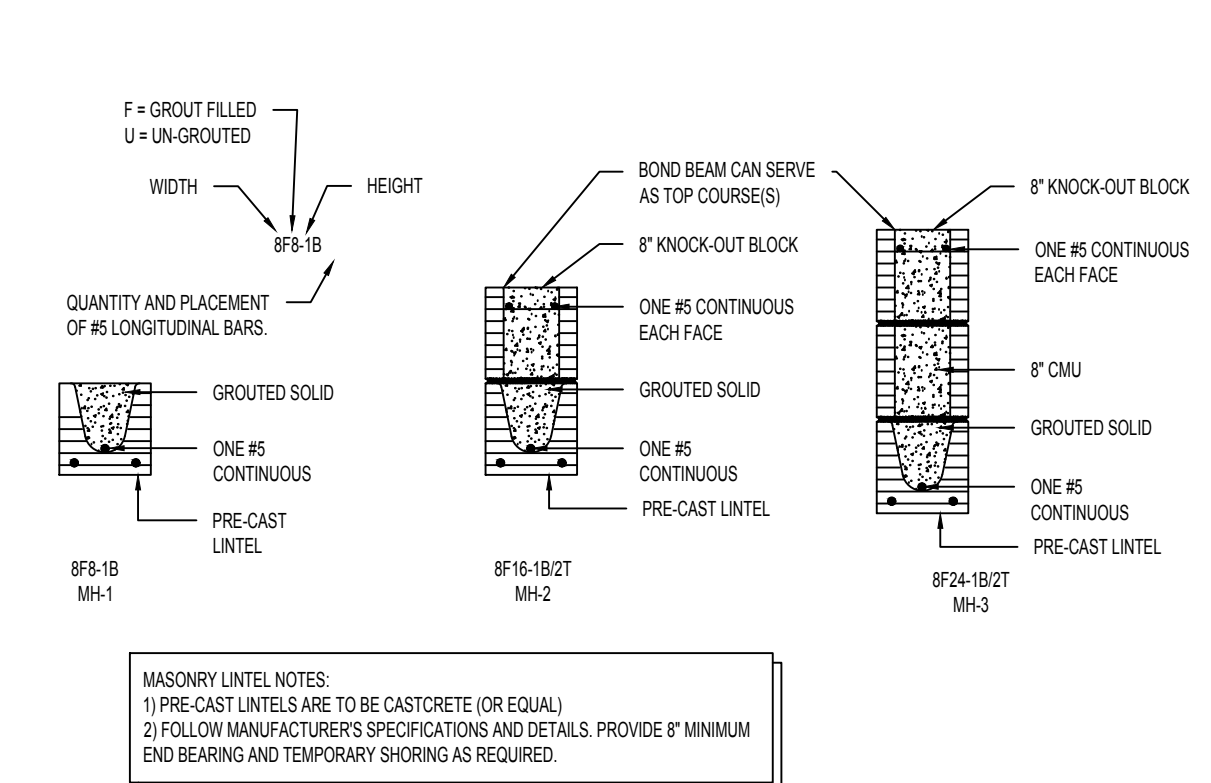
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3. FIELD CUT UNITS AS REQUIRED.
4. FOUR INCH BEARING REQUIRED.
5. PROVIDE TEMPORARY SUPPORT ON LINTELS REQUIRING GROUT FILL.

WOOD WALL SCHEDULE						
DESIGNATION	WALL STUDS	SHEATHING	SOLE PLATE ANCHORAGE	STUD TO DOUBLE TOP PLATE	STUD TO SOLE PLATE	HOLDDOWN @ EACH END OF WALL SEGMENT, TRANSITION, JAMB AND CORNER
WW-1	2X6 @ 16" O.C.	FOR EXTERIOR WALLS USE 15/32" PLYWOOD. FOR INTERIOR WALLS USE 5/8" GYPSUM	16d NAILS @ 6" O.C.	SP-2	SP-1	DTT2Z [CMU] OR (2)CS16 [WOOD]

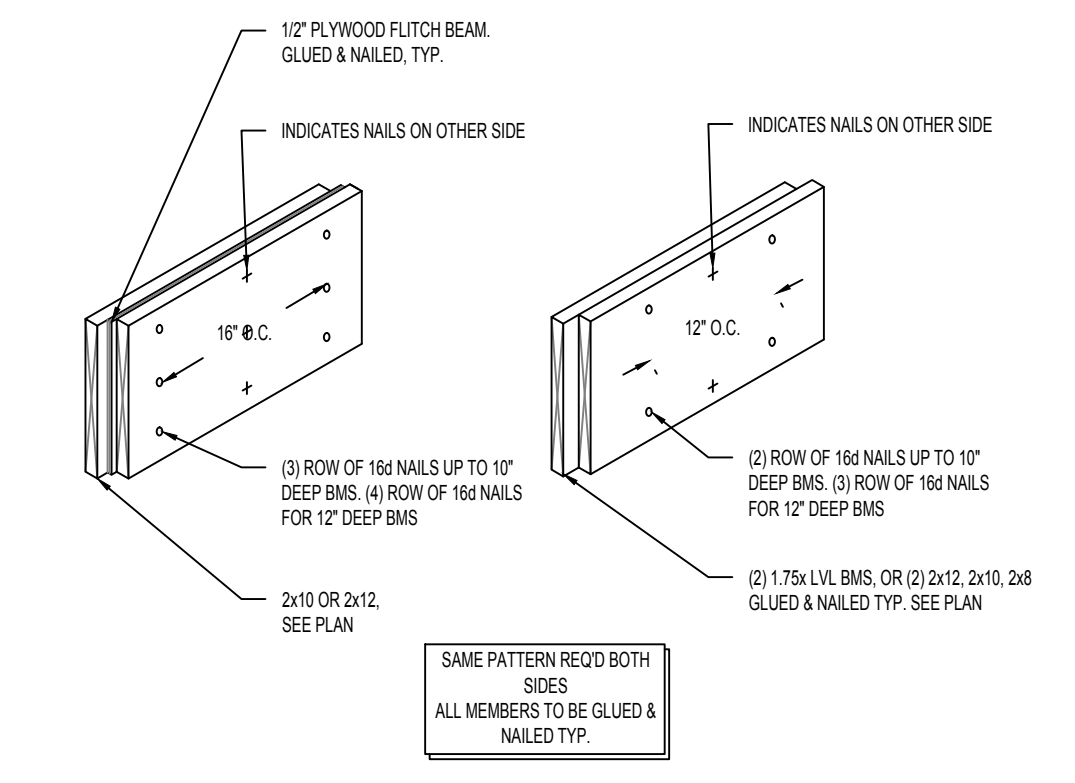
NOTES:
1) ALL EXTERIOR WALLS ARE TO RECEIVE 1/2" GYP ON INTERIOR FACE AND EXTERIOR FINISHES PER ARCHITECTURAL, U.N.O.
2) ALL INTERIOR WALLS ARE TO RECEIVE 1/2" GYP ON EACH FACE
3) SOLID BLOCK ALL WALLS IN SCHEDULE INCLUDING EXTERIOR AND INTERIOR LOAD BEARING WALLS
4) ATTACH SHEATHING PER STRENGTH OF MATERIALS, U.N.O.

WOOD HEADER / BEAM SCHEDULE					
MARK	MEMBER	JACK STUDS	KING STUDS / POST	HEADER TO JAMB STUD, EACH END	JAMB BASE
WH-1	(3)2x8's	1	1	CS16	MTS16 / CS16
WH-2	(3)2x12's	2	3	(2)CS16	(2)CS16

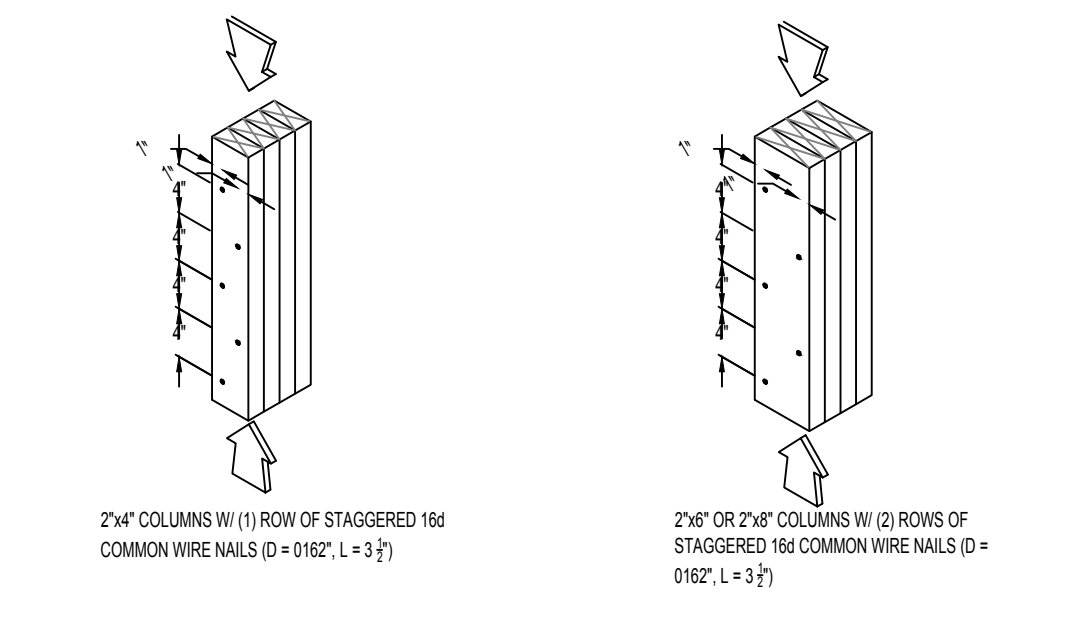
WOOD HEADER / BEAM SCHEDULE NOTES:
1. DIMENSIONAL LUMBER IS #2 SYP, U.N.O.
2. LVLs ARE 2.850 Fb AND 2.0E, U.N.O.
3. MULTI-PLY MEMBERS ARE TO BE GLUED AND NAILED/SCREWED TO EACH OTHER PER TYPICAL DETAILS.
4. ADD ADDITIONAL LAYER(S) OF 1/2" PLYWOOD TO MATCH WALL FRAMING WIDTH.
5. STUD PACKS SHALL BE SAME WIDTH AS STUDS IN WALL.
6. ALL JAMB STUDS SHOULD BE CONTINUOUSLY SUPPORTED TO FOUNDATION INCLUDING FLOOR FRAMING CAVITY.
6.1. FLOOR CAVITY BLOCKING SHOULD MATCH QUANTITY OF STUDS OF JAMB FROM FLOOR ABOVE.
6.2. WHERE UPPER LEVEL OPENING DOESNT ALIGN WITH LOWER LEVEL OPENING, PROVIDE FULL HEIGHT STUDS IN LOWER LEVEL ALIGNED WITH UPPER LEVEL JAMB STUDS.



1 TYPICAL MASONRY HEADER
SCALE: 3/4" = 1'-0"



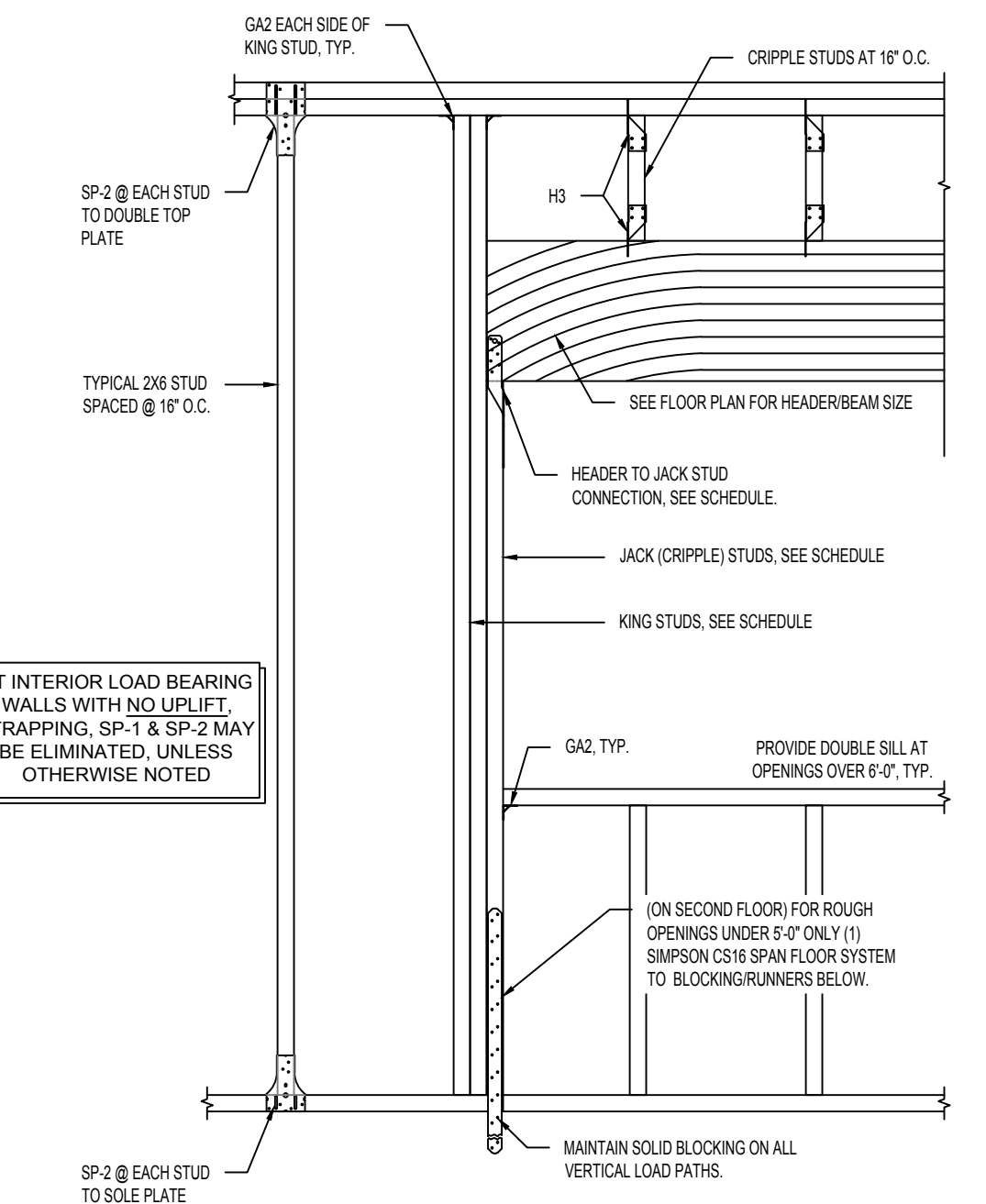
2 TYPICAL MULTI-PLY BEAM OR HEADER NAILING
SCALE: 3/4" = 1'-0"



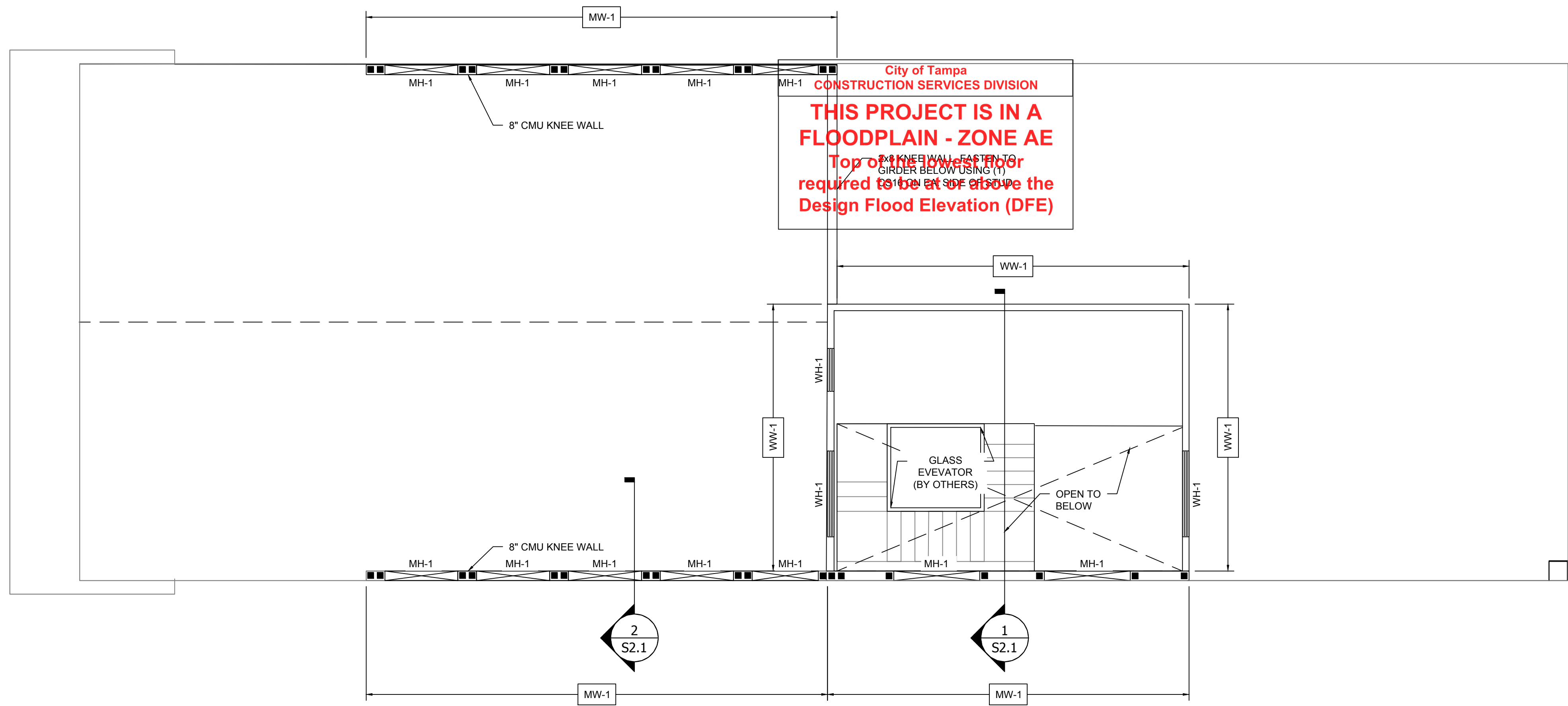
3 TYP. MULTI-PLY POST NAILING
SCALE: 3/4" = 1'-0"

3 TYP. MULTI-PLY POST NAILING
SCALE: 3/4" = 1'-0"

3 TYP. MULTI-PLY POST NAILING
SCALE: 3/4" = 1'-0"



4 TYPICAL EXTERIOR AND INTERIOR LOAD BEARING WALLS W/ UPLIFT
SCALE: 3/4" = 1'-0"



PENTHOUSE WALL PLAN
SCALE: 3/16" = 1'-0"

City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
Top of the walls for girder below (S1.1) required to be at or above the Design Flood Elevation (DFE)

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN AND CONSTRUCTION OF THE STRUCTURAL ELEMENTS AND SYSTEMS FOR THIS PROJECT HAVE BEEN DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 7TH EDITION 2020, ALL OTHER ELEMENTS, SYSTEMS AND MATERIALS ARE THE RESPONSIBILITY OF THE BUILDER.

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PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
34 ADALIA AVE
TAMPA, FL 33606

JOB NO. ET22-0219
DRAWN - KT
DESIGN - AZ
CHECK - SD

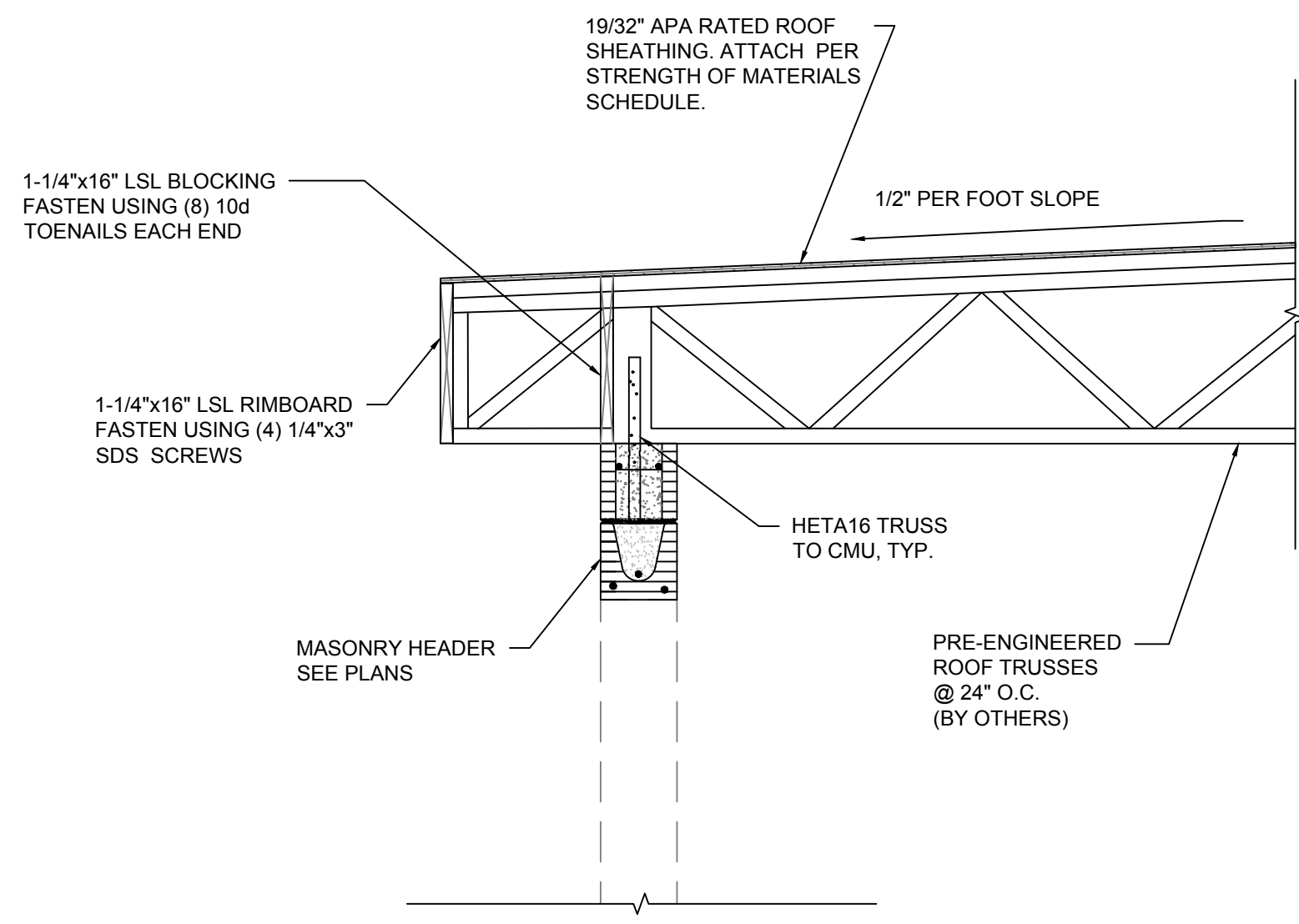
PENTHOUSE WALL PLAN

S1.9

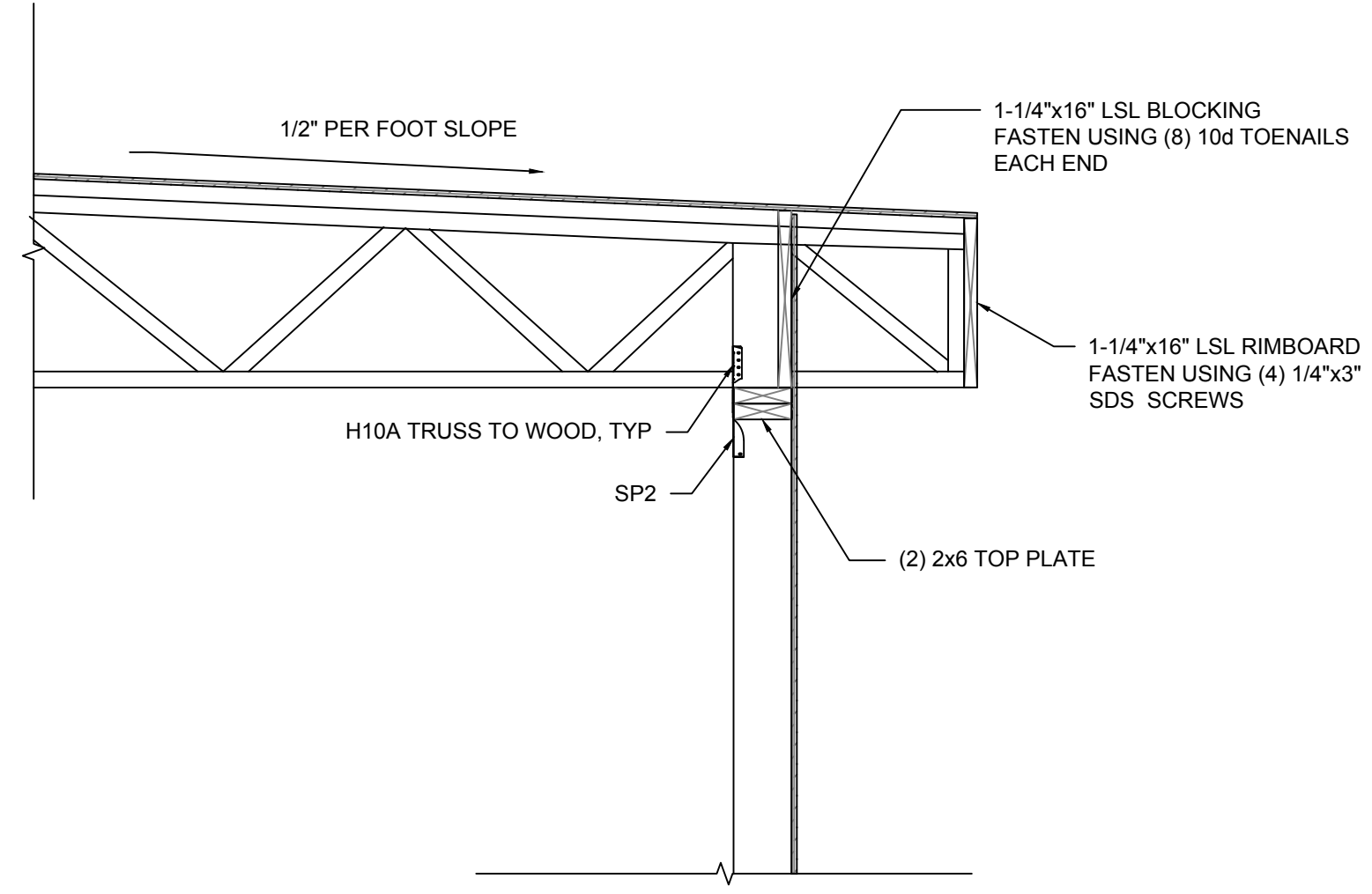
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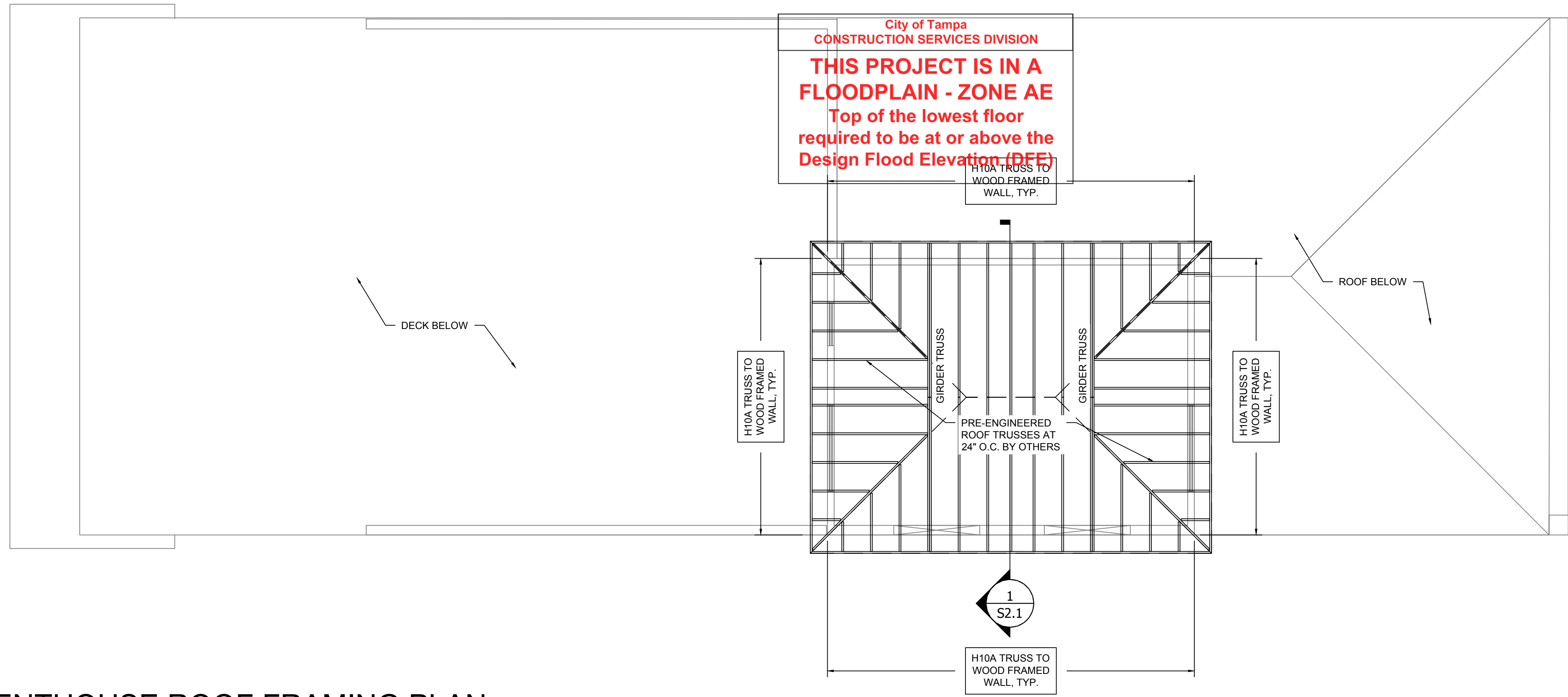
REVIEWED FOR CODE COMPLIANCE



1 ROOF-TO-CMU DETAIL
 SCALE: 3/4" = 1'-0"



2 ROOF-TO-WOOD DETAIL
 SCALE: 3/4" = 1'-0"



PENTHOUSE ROOF FRAMING PLAN
 SCALE: 3/16" = 1'-0"

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 TAMPA, FL 33612
 WWW.BELTENGINEERING.COM

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON 07/21/2022 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN AND SYSTEMS FOR THIS STRUCTURE HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 7TH EDITION 2020, ALL OTHER ELEMENTS, SYSTEMS AND MATERIALS ARE THE RESPONSIBILITY OF THE BUILDER.

SAMUEL P. DEAN, P.E. #830715
 sdean@beltengineering.com

NO.	ISSUE	DATE
1.	PERMIT SET	05/06/2022
2.	RESPONSE TO COMMENTS	06/13/2022
3.	RESPONSE TO COMMENTS #2	07/07/2022
4.		
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NO.	ISSUE	DATE
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4.		
5.		
6.		
7.		
8.		
9.		
10.		

PROJECT INFORMATION:
 DESIGN CRITERIA
 NEW PRIVATE RESIDENCE
 34 ADAILIA AVE
 TAMPA, FL 33606

JOB NO.	ET22-0219
DRAWN	KT
DESIGN	AZ
CHECK	SD

PENTHOUSE ROOF FRAMING PLAN

S1.10

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON 07/21/2022 USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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DATE: 05/06/2022
06/13/2022
07/07/2022
ISSUE: PERMIT SET
RESPONSE TO COMMENTS #1
RESPONSE TO COMMENTS #2

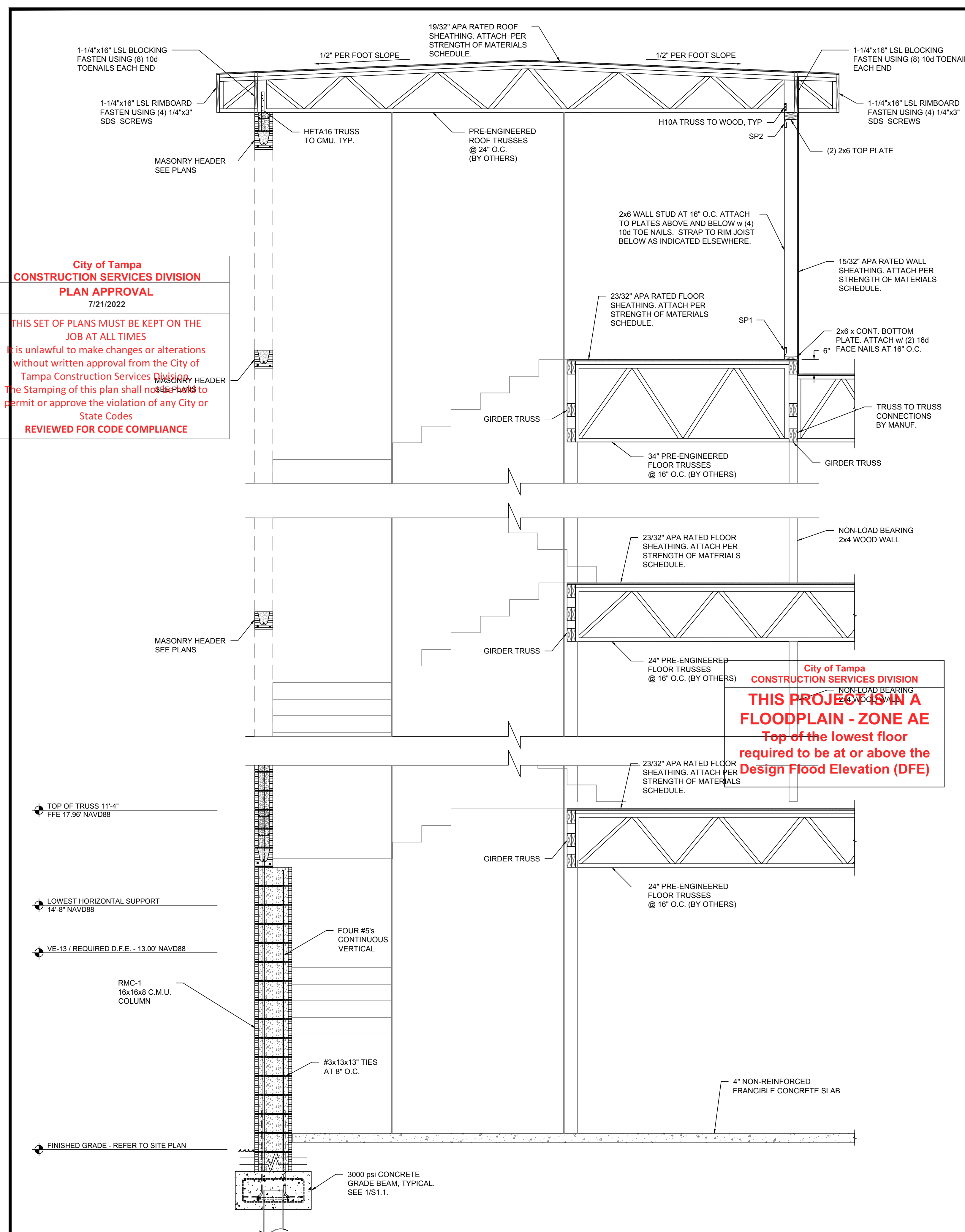
NO.	ISSUE	DATE
1	PERMIT SET	05/06/2022
2	RESPONSE TO COMMENTS #1	06/13/2022
3	RESPONSE TO COMMENTS #2	07/07/2022
4		
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10		

PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
34 ADALIA AVE
TAMPA, FL 33606

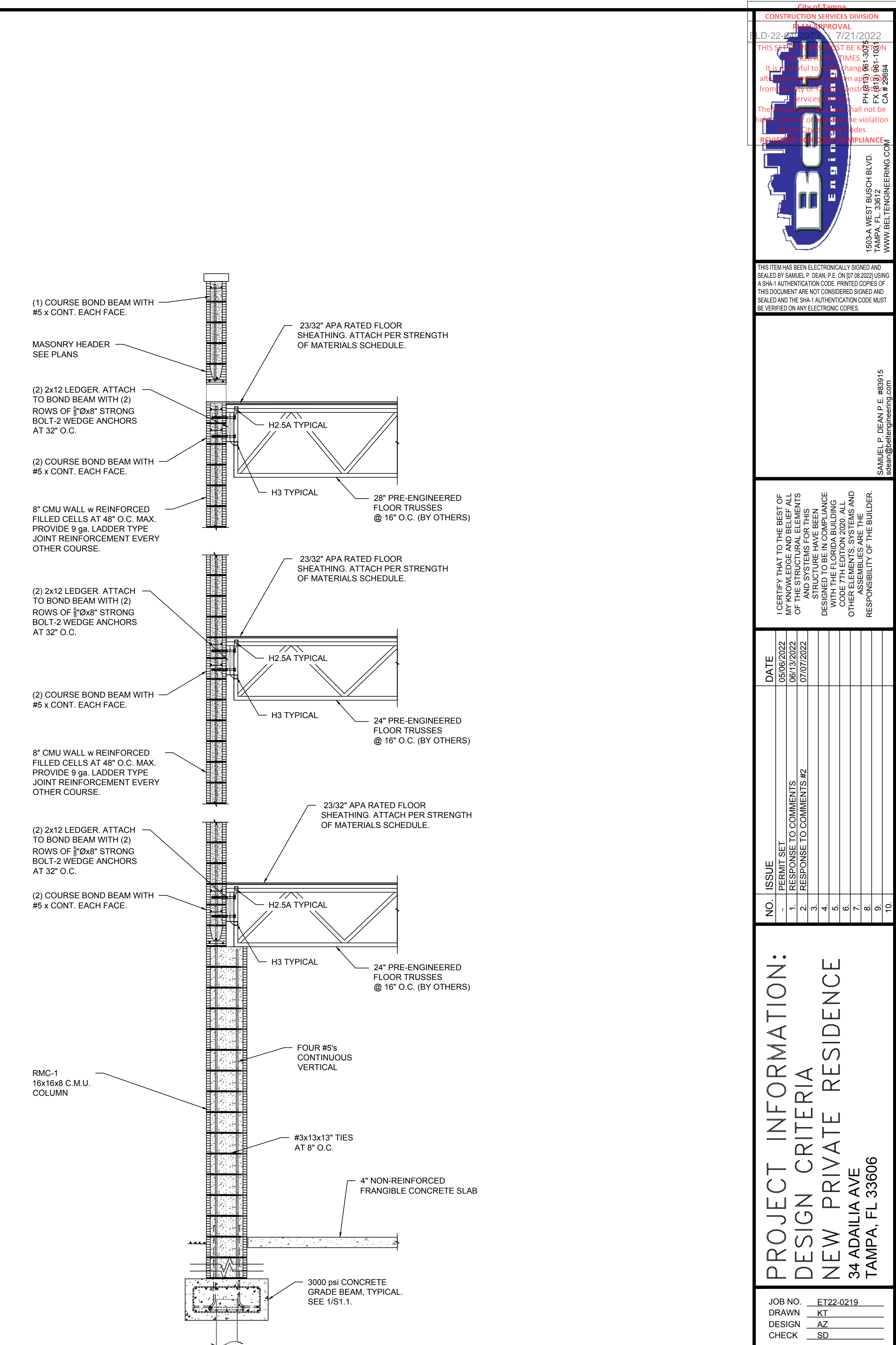
JOB NO. ET22-0219
DRAWN: KT
DESIGN: AZ
CHECK: SD

STRUCTURAL SECTIONS

S2.1



1 WALL SECTION
S2.1
SCALE: 1/2" = 1'-0"



2 WALL SECTION
S2.1
SCALE: 1/2" = 1'-0"

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT WRITTEN APPROVAL FROM THE CITY OF TAMPA CONSTRUCTION SERVICES DIVISION
THE STAMPING OF THIS PLAN SHALL NOT BE PERMITTED TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES
REVIEWED FOR CODE COMPLIANCE

City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

City of Tampa
 CONSTRUCTION SERVICES DIVISION
 PERMIT APPROVAL
 D-22-2022-00000 7/21/2022
 THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES. IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT WRITTEN APPROVAL FROM THE CITY OF TAMPA CONSTRUCTION SERVICES DIVISION. THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES.
 SAMUEL P. DEAN, P.E. #89315
 1505A WEST BUSCH BLVD.
 TAMPA, FL 33612
 WWW.BELTINGENGINEERING.COM

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN AND CONSTRUCTION OF THE STRUCTURAL ELEMENTS AND SYSTEMS FOR THIS PROJECT HAVE BEEN DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 7TH EDITION 2020, ALL OTHER ELEMENTS, SYSTEMS AND MATERIALS ARE THE RESPONSIBILITY OF THE BUILDER.

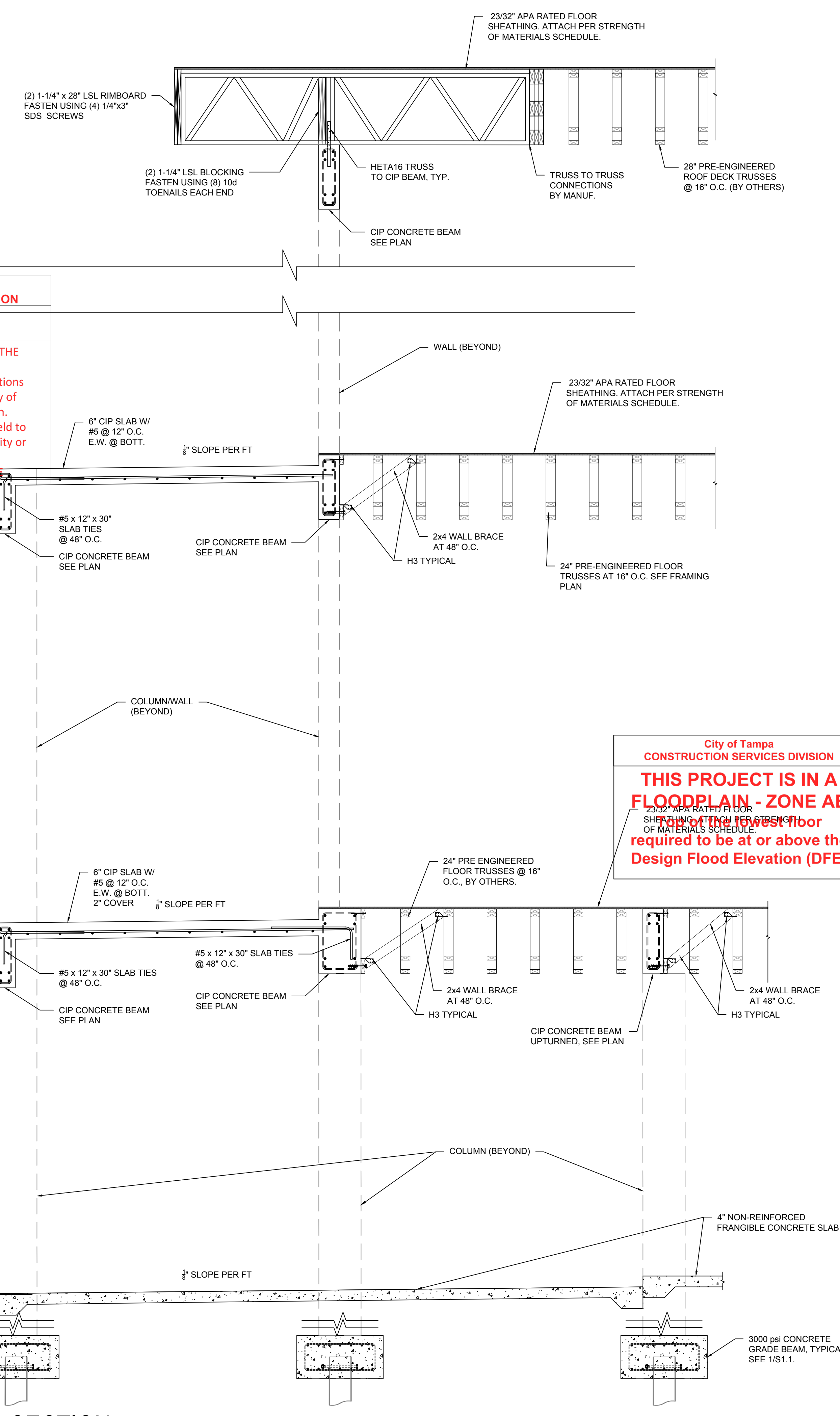
NO.	ISSUE	DATE
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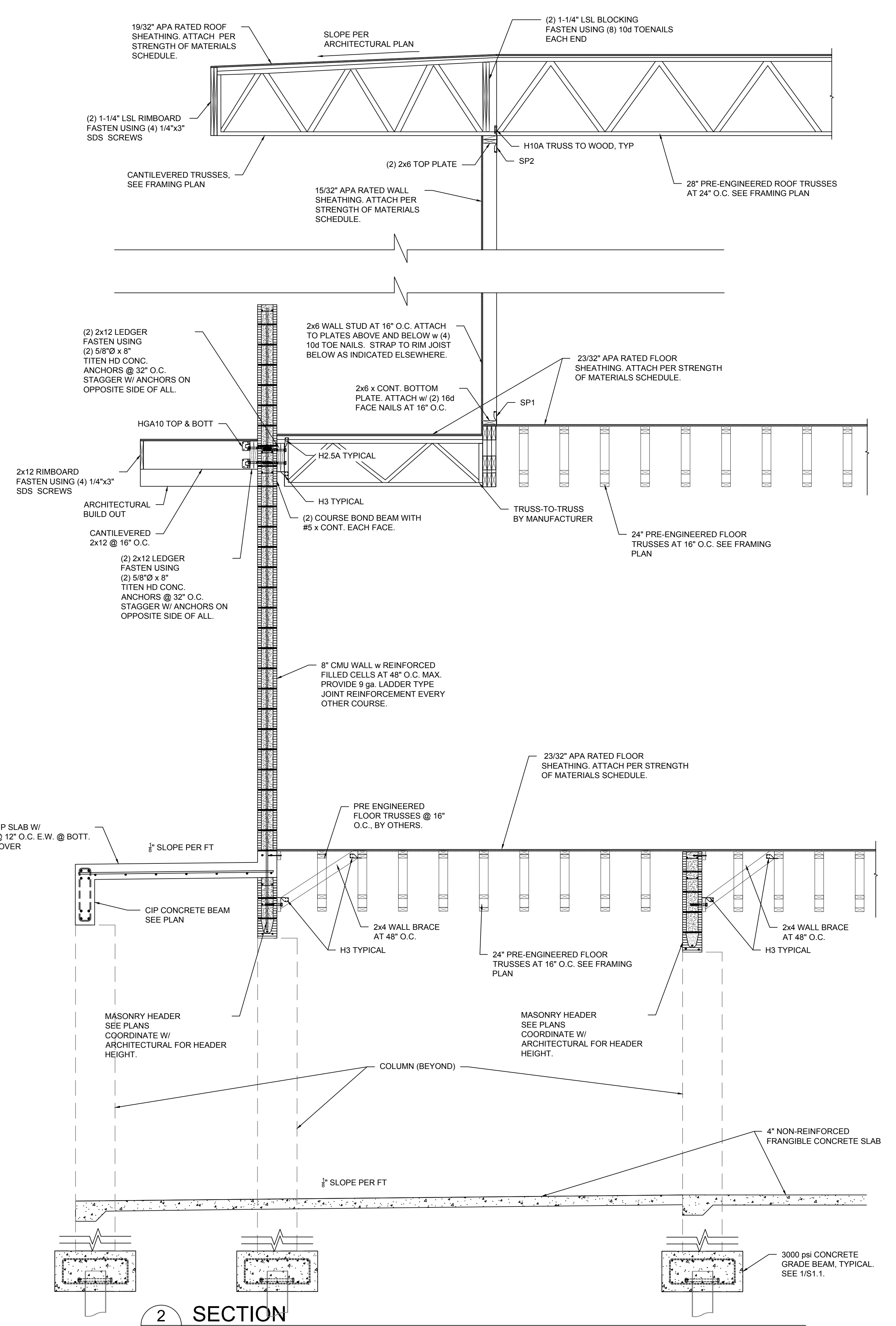
PROJECT INFORMATION:
 DESIGN CRITERIA
 NEW PRIVATE RESIDENCE
 34 ADAILIA AVE
 TAMPA, FL 33606

JOB NO. ET22-0219
 DRAWN: KT
 DESIGN: AZ
 CHECK: SD

STRUCTURAL SECTIONS
S2.2



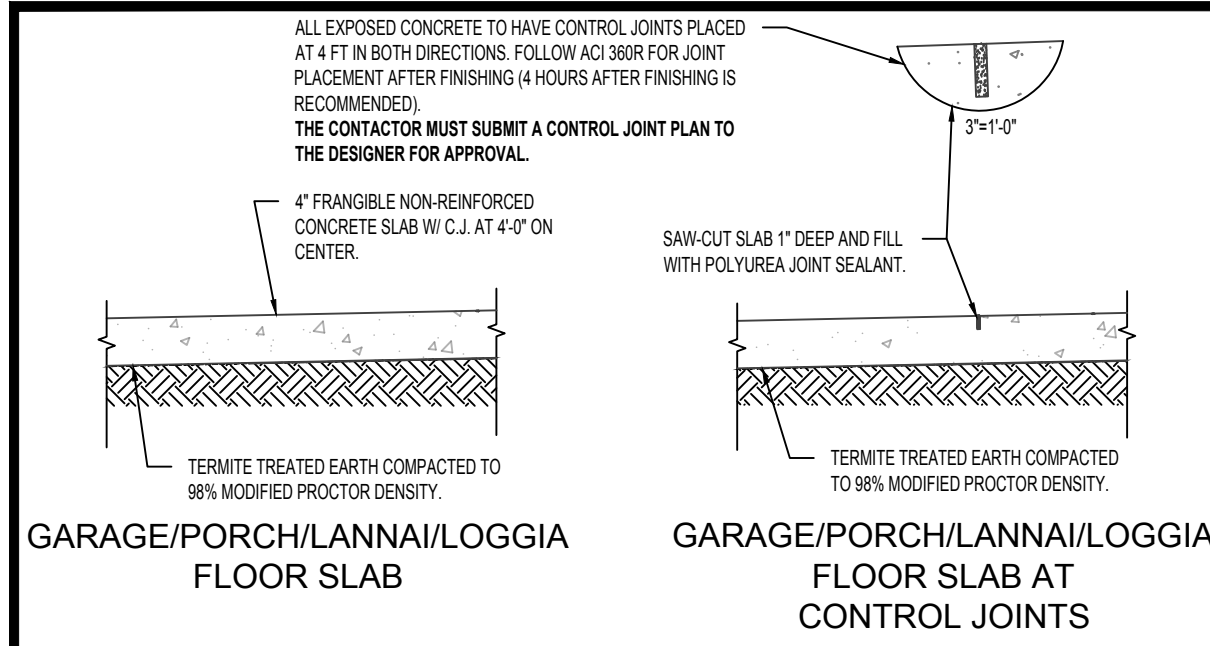
1 SECTION
 S2.2
 SCALE: 1/2" = 1'-0"



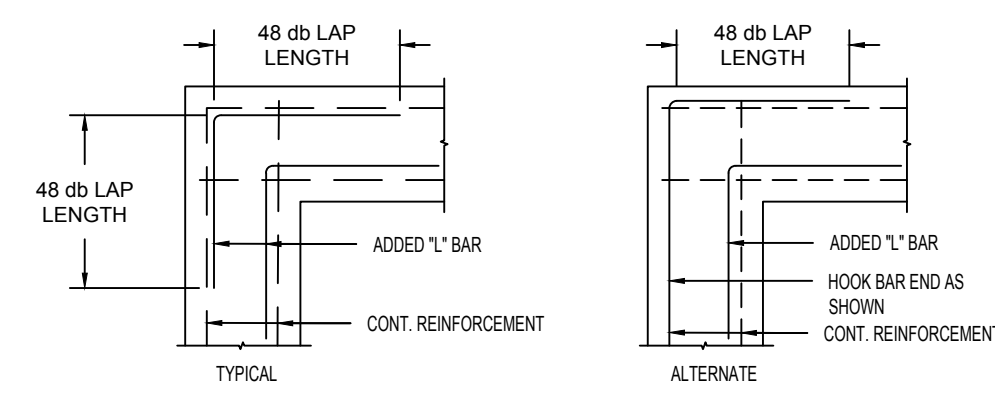
2 SECTION
 S2.2
 SCALE: 1/2" = 1'-0"

City of Tampa
 CONSTRUCTION SERVICES DIVISION
 PLAN APPROVAL
 7/21/2022
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 REVIEWED FOR CODE COMPLIANCE

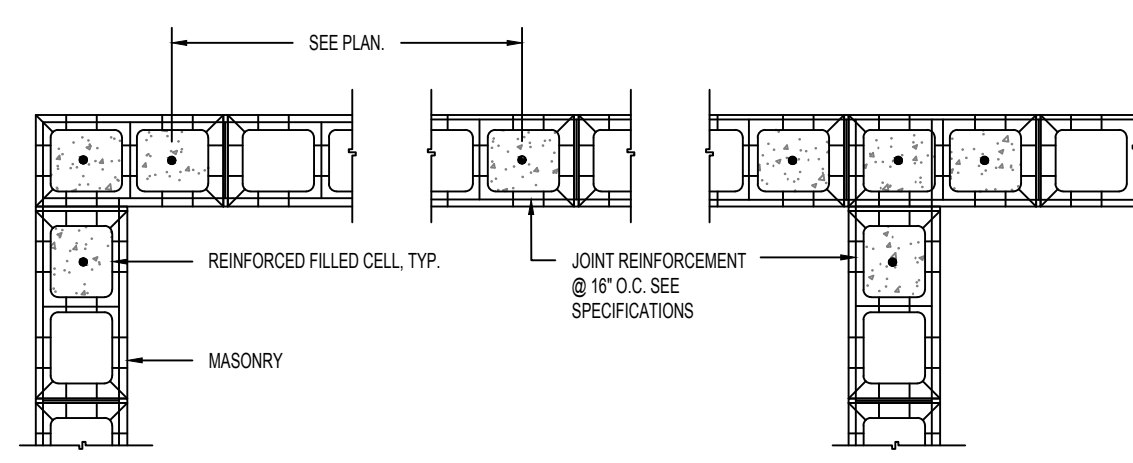
City of Tampa
 CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
 Floodproofing of first floor required to be at or above the Design Flood Elevation (DFE)



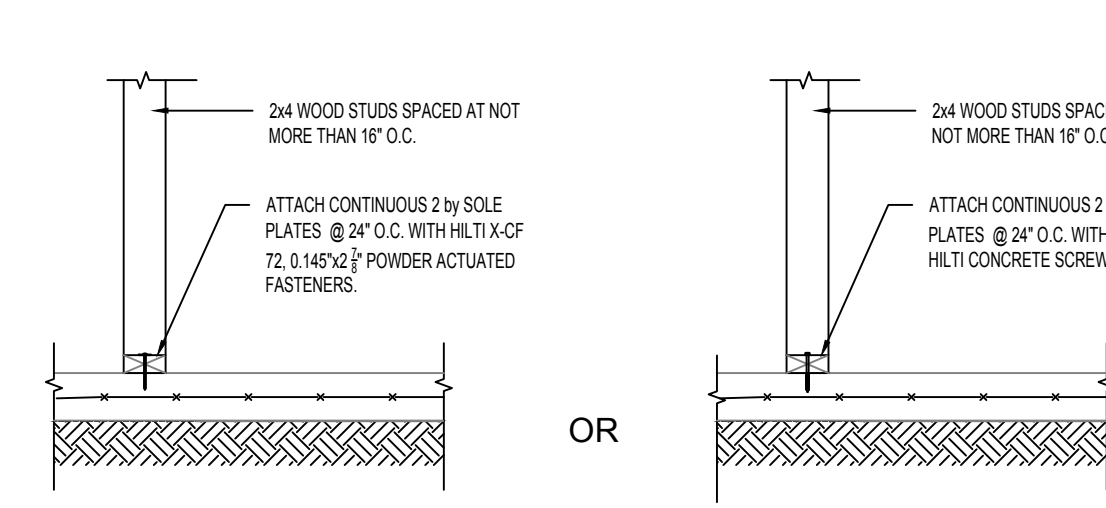
- NOTE:
- 1) SLOPE TYPICAL "EXPOSED TO WEATHER" FLOORS TO DRAIN PER ARCHITECTURAL PLAN.
 - 2) FIBER MESH REINFORCEMENT IS ACCEPTABLE TEMPERATURE CRACK CONTROL, WITH THE SUBMITTAL OF MANUFACTURER'S DOSAGE REQUIREMENTS FOR REVIEW AND APPROVAL BY E.O.R.
 - 3) SEE STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



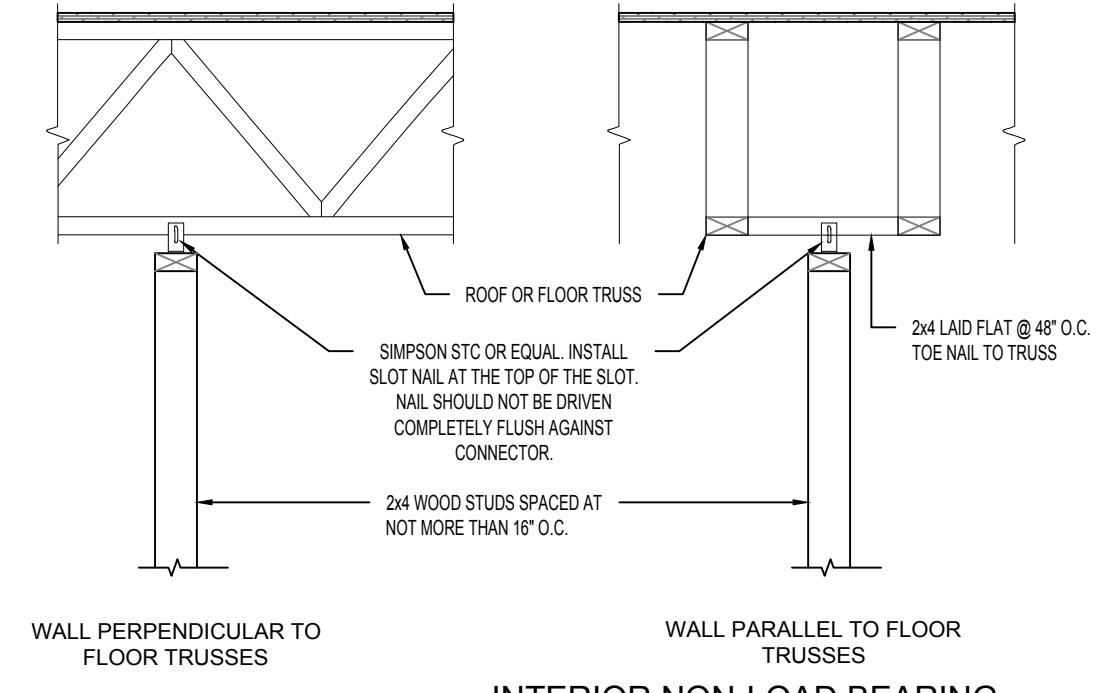
2 DETAIL
 SCALE: 3/4" = 1'-0"



3 DETAIL
 SCALE: 3/4" = 1'-0"



4 DETAIL
 SCALE: 3/4" = 1'-0"



5 DETAIL
 SCALE: 3/4" = 1'-0"

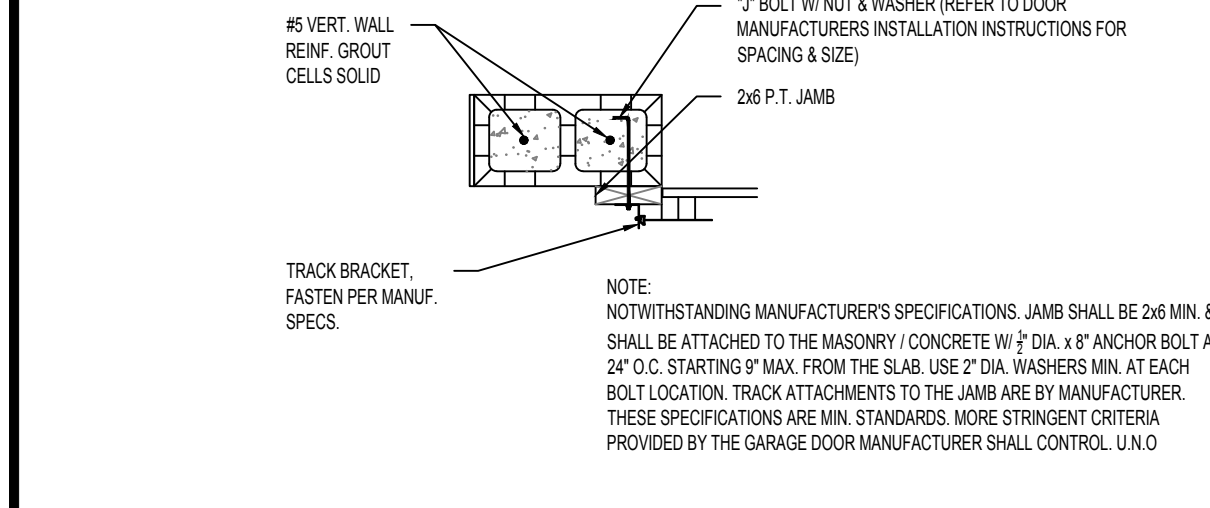
City of Tampa CONSTRUCTION SERVICES DIVISION
PERMIT REVIEW
 7/7/2022

1 DETAIL
 SCALE: 3/4" = 1'-0"

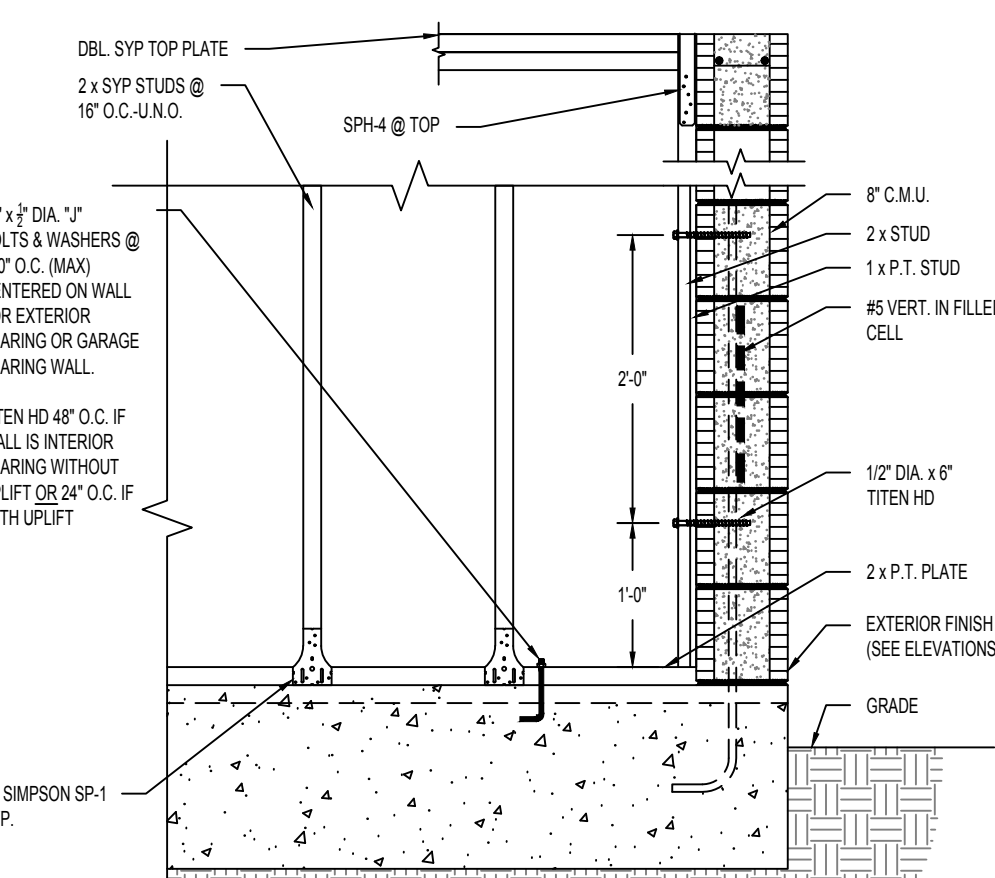
THIS SET OF PERMIT PLANS IS KEPT ON THE JOB AT ALL TIMES.

It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division. The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes

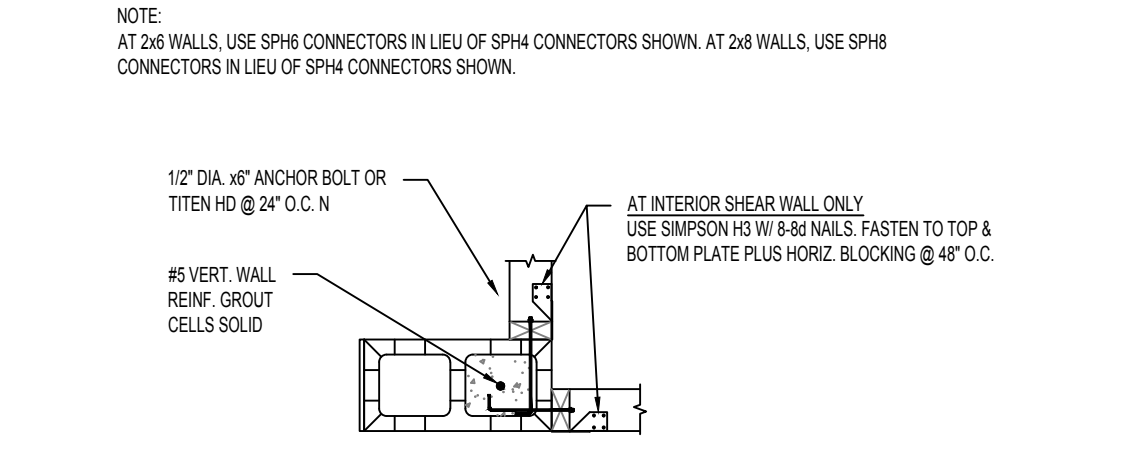
REVIEWED FOR CODE COMPLIANCE



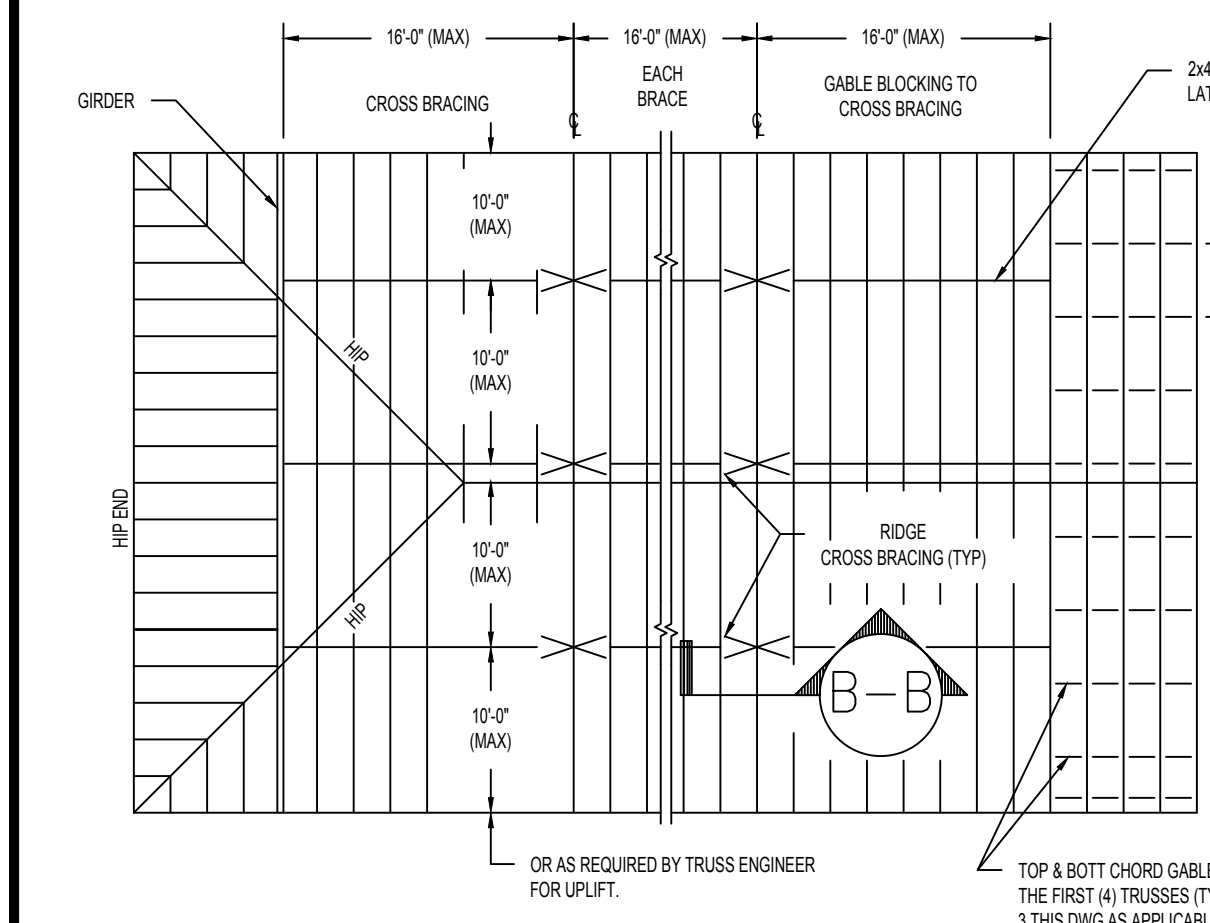
6 DETAIL
 SCALE: 3/4" = 1'-0"



7 DETAIL
 SCALE: 3/4" = 1'-0"



8 DETAIL
 SCALE: 3/4" = 1'-0"



9 DETAIL
 SCALE: 3/4" = 1'-0"

City of Tampa CONSTRUCTION SERVICES DIVISION
PERMIT REVIEW
 7/7/2022

THIS PROJECT IS IN A FLOODPLAIN - ZONE AE
Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

NOTE:

1. REFERENCE SECT 9-B THIS DWG FOR 2 x 4 LATERAL BRACING SPLICE DETAIL.
2. PERMANENT ROOF TRUSS BRACING INDICATED IS MINIMUM REQUIRED. REFERENCE TRUSS MFR DWGS FOR ADDTL. TEMPORARY AND PERMANENT BRACING REQUIREMENTS.
3. ALL BRACING SHALL BE #2 SOUTHERN YELLOW PINE AND SHALL COMPLY W/ BCS1 1-03.

City of Tampa CONSTRUCTION SERVICES DIVISION
PERMIT REVIEW
 7/21/2022

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REVIEWED FOR CODE COMPLIANCE

1500 A WEST BUSCH BLVD.
 TAMPA, FL 33612
 WWW.BELTINGENGINEERING.COM

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SAMUEL P. DEAN P.E. #83015
 sdean@beltingengineering.com

NO.	ISSUE	DATE
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I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN AND SYSTEMS FOR THIS STRUCTURE HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE WITH THE FLORIDA BUILDING CODE 7TH EDITION 2020. ALL OTHER ELEMENTS, SYSTEMS AND COMPONENTS ARE THE RESPONSIBILITY OF THE BUILDER.

PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
 34 ADALIA AVE
 TAMPA, FL 33606

JOB NO. ET22-0219
 DRAWN - KT
 DESIGN - AZ
 CHECK - SD

STRUCTURAL DETAILS

S3.1

FOR REVIEW AND PERMIT. NOT FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND THE BUILDING OFFICIAL. THEN MUST BE MARKED "APPROVED FOR CONSTRUCTION" BY THE ENGINEER.

**City of Tampa
CONSTRUCTION SERVICES DIVISION**

**THIS PROJECT IS IN A
FLOODPLAIN WITH
MULTIPLE FEMA ZONES**

**City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022**

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REVIEWED FOR CODE COMPLIANCE

HILLSBOROUGH BAY
WOOD DOCK
BOAT LIFT

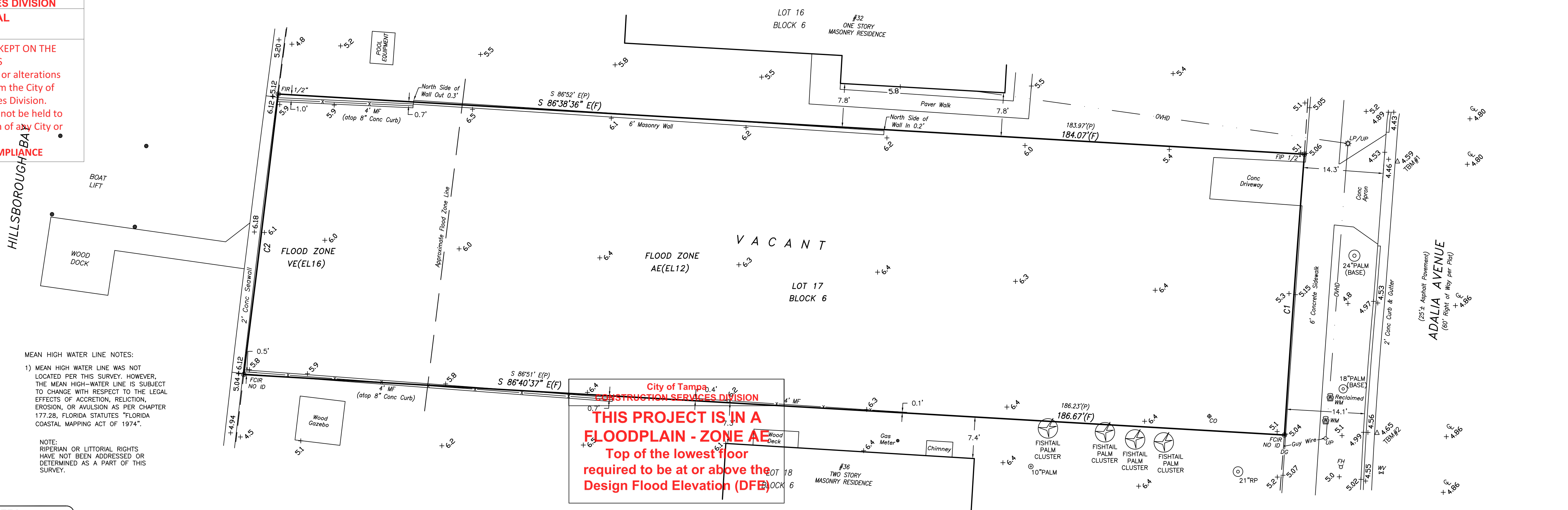
MEAN HIGH WATER LINE NOTES:

1) MEAN HIGH WATER LINE WAS NOT LOCATED PER THIS SURVEY. HOWEVER, THE MEAN HIGH-WATER LINE IS SUBJECT TO CHANGE WITH RESPECT TO THE LEGAL EFFECTS OF ACCRETION, RELICTION, EROSION, OR AVULSION AS PER CHAPTER 177.28, FLORIDA STATUTES "FLORIDA COASTAL MAPPING ACT OF 1974".

NOTE:
RIPEFIAN OR LITTORAL RIGHTS HAVE NOT BEEN ADDRESSED OR DETERMINED AS A PART OF THIS SURVEY.

**City of Tampa
CONSTRUCTION SERVICES DIVISION**

**THIS PROJECT IS IN A
FLOODPLAIN - ZONE AE**
Top of the lowest floor
required to be at or above the
Design Flood Elevation (DFE)



SURVEYORS NOTES

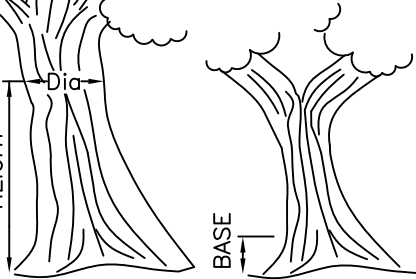
- LEGAL DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.
- THIS SURVEY NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA SURVEYOR AND MAPPER. REPRODUCTION OF THIS SURVEY IS EXPRESSLY FORBIDDEN.
- NO UNDERGROUND IMPROVEMENTS LOCATED UNLESS OTHERWISE SHOWN. DISCREPANCIES BETWEEN PROPERTY LINES OF ADJOINING PARCELS NOT VERIFIED UNLESS OTHERWISE SHOWN.
- BEARINGS SHOWN REFERENCE THE WEST R/W LINE OF ADALIA AVENUE. SAID BEARING IS N 04°04'00" E. (PLAT).
- THE FIELD SURVEYED SITE APPEARS TO BE IN FLOOD ZONES "AE(EL12)" & "VE(EL16)", ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP OF HILLSBOROUGH COUNTY, FLORIDA AND INCORPORATED AREAS MAP NUMBER 1200700001, EFFECTIVE DATE: 10-7-2021. THE SIGNING SURVEYOR AND MAPPER HEREOF ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS ZONE DETERMINATION. THE PREPARER OF THE MAP THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCED MAP STATES IN THE NOTES TO THE USER THAT: "THIS MAP IS FOR INSURANCE PURPOSES ONLY".
- FEMA FLOOD HAZARD MAPPING: THIS PRODUCT WAS NOT DESIGNED TO MAKE PRECISE IN/OUT FLOOD RISK DETERMINATIONS, THIS PRODUCT IS NOT SUITABLE FOR ENGINEERING APPLICATIONS AND CANNOT BE USED TO DETERMINE ABSOLUTE DELINEATIONS OF FLOOD BOUNDARIES.
- PROPERTY OWNER SHOULD OBTAIN WRITTEN FLOOD ZONE DETERMINATION FROM OUR LOCAL PERMITTING, PLANNING AND BUILDING DEPARTMENT PRIOR TO ANY CONSTRUCTION PLANNING AND/OR CONSTRUCTION.
- UNLESS OTHERWISE SHOWN, ENCROACHMENTS OF UNDERGROUND UTILITIES, WALL FOOTINGS, ETC., WERE NOT RECOGNIZED IN THE FIELD. ALSO FENCES AS SHOWN ARE NOT TO SCALE. OWNERSHIP OF FENCES AND/OR WALLS (IF PRESENT) ARE NOT FIELD DETERMINED.
- RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN INTENDED, WITHOUT WRITTEN VERIFICATION WELL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO ON THIS SURVEY
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY WAS PERFORMED USING THE TRANSIT AND TAPE SURVEY METHOD AND CHECKED BY MATHEMATICAL TRAVELER CLOSURE AND REDUNDANT MEASUREMENTS TO CORNERS THAT COULD NOT BE OCCUPIED WITH AN INSTRUMENT. THE CALCULATED MATHEMATICAL CLOSURE MEETS OR EXCEEDS THE CLOSURE REQUIREMENTS SET FORTH IN FLORIDA ADMINISTRATIVE CODE 5J-17
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THE UNDERSIGNED MAKES NO GUARANTEE AS TO THE EXISTENCE, SIZE OR LOCATION OF SETBACK LINES, RIGHTS OF WAY, EASEMENTS, AGREEMENTS OR SIMILAR MATTERS.
- THE TREES SHOWN HEREON WERE LOCATED USING METHODS ADEQUATE FOR THEIR ACCURATE LOCATION AND IDENTIFICATION. HOWEVER, THIS COMPANY AND THE SIGNING SURVEYOR RESERVES THE RIGHT TO VERIFY LOCATION OF ALL TREES CRITICAL TO THE DESIGN OF PERMANENT IMPROVEMENTS AND SIGNING AND PARKING LOTS. IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL TO INFORM THIS COMPANY AND/OR THE SIGNING SURVEYOR OF ANY TREES CRITICAL TO THEIR DESIGN SO THAT THOSE TREES CAN BE VERIFIED PRIOR TO DESIGN COMPLETION.
- ELEVATIONS SHOWN REFERENCE CITY OF TAMPA BENCHMARK IV-02 0178, HAVING A REPORTED ELEVATION OF 5.978 FEET, (NAVD1988).

ELEVATIONS REFER TO NAVD 1988.

LEGEND:

- | | | |
|----------------------------------|---|--|
| (AB) = ASBUILT (F) = FIELD | ERC = ENVIRONMENTAL PROTECTION COMMISSION | MF = METAL FENCE |
| (C) = CALCULATED | EROP = ENFORCEMENT OF RECORDS DEPARTMENT | MLP = METAL LIGHT POLE |
| (D) = DESCRIPTION N.T.S. | FM = FOUND MASONRY | MW=MONITORING WELL |
| (M) = MEASURED NOT TO SCALE | FOOT = FOUND CONCRETE | |
| (P) = PLAT | FOT = FOUND CONCRETE FOUNDATION | N.A.V.D. = NORTH AMERICAN VERTICAL DATUM |
| (R) = RECORD | FR = FOUND IRON ROD | N.T.S. = NOT TO SCALE |
| (TYP) = TYPICAL | FRP = FOUND REINFORCED CONCRETE | N.W. = NORTHWEST |
| A/C = AIR-CONDITIONER | FIR = FOUND IRON ROD | O/S/A = OVER ALL |
| AB = ADRIANITE BITUMINOUS STRONE | FRP = FOUND PARKER KALON NAIL | OB = OVER BANK |
| BM = BENCH MARK | G/C = GRATE TOP INLET | O/S/A = OVERHEAD UTILITY LINE |
| BR = BASKETBALL HOOP | H/S = HANDICAP SIGN | PC = POINT OF CURVE |
| CB = CHAIN LINK FENCE | IH = HANDHOLE | PCN = PARKER KALON NAIL |
| CMP = CORRUGATED METAL PIPE | IN = INGRESS | PLS = PROFESSIONAL LAND SURVEYOR |
| CD = CONCRETE DRIVE | INV = INVERT ELEVATION | POB = POINT OF BEGINNING |
| CE = CONCRETE | IO = IDENTIFICATION NUMBER | POC = POINT OF COMMENCEMENT |
| CH = CONCRETE WALK | IP = IRON PIPE | PPM = PERMANENT REFERENCE MARKER |
| CI = CHERRY LAUREL | IS = IRON ROD | PPS = PROFESSIONAL SURVEYOR & MAPPER |
| CO = CONCERNED | LI = LICENSED BUSINESS | PFC = PODOCARRIUS |
| CP = CONCRETE PAVEMENT | LB = LICENSED BUSINESS | PW = PLYWOOD |
| CR = CONCRETE | LP = LIGHT POLE | R/O = ROOF OVER |
| CS = CONCRETE SIDEWALK | LF = LICENSED BUSINESS | RF = RIGHT-OF-WAY |
| CU = CONCRETE | LP = LIGHT POLE | |
| CW = CONCRETE | LP = LIGHT POLE | |
| CV = CONCRETE | LP = LIGHT POLE | |
| CX = CONCRETE | LP = LIGHT POLE | |
| CY = CONCRETE | LP = LIGHT POLE | |
| CZ = CONCRETE | LP = LIGHT POLE | |
| D = DOWN CURB | ME = METER | MES = MITERED END-SECTION |
| DE = DRAINAGE INLET | MI = MANHOLE | |
| DF = DRAINAGE INLET | MO = MOUND | |
| DI = DRAINAGE INLET | MS = METER | |
| DJ = DRAINAGE INLET | MT = METER | |
| DK = DRAINAGE INLET | MU = METER | |
| DL = DRAINAGE INLET | MV = METER | |
| DM = DRAINAGE INLET | MW = METER | |
| DN = DRAINAGE INLET | MX = METER | |
| DO = DRAINAGE INLET | MY = METER | |
| DP = DRAINAGE INLET | MZ = METER | |
| DQ = DRAINAGE INLET | NA = NORTH AMERICAN | |
| DR = DRAINAGE INLET | N.B. = NORTH BENCH MARK | |
| DS = DRAINAGE INLET | N.D. = NORTH DATUM | |
| DT = DRAINAGE INLET | N.F. = NORTH FACE | |
| DU = DRAINAGE INLET | N.M. = NORTH MOUNTAIN | |
| DV = DRAINAGE INLET | N.N. = NORTH NADIR | |
| DW = DRAINAGE INLET | N.O. = NORTH OVERTOP | |
| DX = DRAINAGE INLET | N.P. = NORTH POINT | |
| DY = DRAINAGE INLET | N.R. = NORTH RANGE | |
| DZ = DRAINAGE INLET | N.S. = NORTH SIDE | |
| EA = ELEVATION | N.T. = NORTH TOWER | |
| EB = ELEVATION | N.U. = NORTH UPLAND | |
| EC = ELEVATION | N.V. = NORTH VERTIC | |
| ED = ELEVATION | N.W. = NORTH WEST | |
| EE = ELEVATION | N.X. = NORTH X | |
| EF = ELEVATION | N.Y. = NORTH Y | |
| EG = ELEVATION | N.Z. = NORTH Z | |
| EH = ELEVATION | OA = OVER ALL | |
| EI = ELEVATION | OB = OVER BANK | |
| EJ = ELEVATION | OC = OVERHEAD UTILITY LINE | |
| EK = ELEVATION | OD = OVERHEAD UTILITY LINE | |
| EL = ELEVATION | OE = OVERHEAD UTILITY LINE | |
| EM = ELEVATION | OF = OVERHEAD UTILITY LINE | |
| EN = ELEVATION | OG = OVERHEAD UTILITY LINE | |
| EO = ELEVATION | OH = OVERHEAD UTILITY LINE | |
| EP = ELEVATION | OI = OVERHEAD UTILITY LINE | |
| EQ = ELEVATION | OJ = OVERHEAD UTILITY LINE | |
| ER = ELEVATION | OK = OVERHEAD UTILITY LINE | |
| ES = ELEVATION | OL = OVERHEAD UTILITY LINE | |
| ET = ELEVATION | OM = OVERHEAD UTILITY LINE | |
| EU = ELEVATION | ON = OVERHEAD UTILITY LINE | |
| EV = ELEVATION | OO = OVERHEAD UTILITY LINE | |
| EW = ELEVATION | OP = OVERHEAD UTILITY LINE | |
| EX = ELEVATION | OQ = OVERHEAD UTILITY LINE | |
| EY = ELEVATION | OR = OVERHEAD UTILITY LINE | |
| EZ = ELEVATION | OS = OVERHEAD UTILITY LINE | |

- ** TREE NOTE ****
- ALL TREE LOCATIONS INFORMATION SHOULD BE FIELD VERIFIED IF CRITICAL TO DESIGN. TREES BY NATURE ARE IRREGULAR IN SIZE AND SHAPE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THE TREES SHOWN HEREON. THE TREE SIZE IS DETERMINED AT THE DIAMETER OF TREE AT BREAST HEIGHT.
- ** TREE LEGEND ****
- BB=BAMBOO
 - CIT=CITRUS
 - CL=CHERRY LAUREL
 - EL=EUCALYPTUS
 - FA=FAN PALM
 - QP=QUEEN PALM
 - LIG=LIGUSTRUM
 - MAG=MAGNOLIA
 - OK=OKAL
 - RP=ROYAL PALM
 - POC=PODOCARRIUS
 - SCH=SCHOFFELERA
 - UNK=UNKNOWN



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ALVIE F. GRIFFITH USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

CURVE TABLE

FIELD DATA

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.36	3630.00'	0°48'30"	N 04°04'00" E	50.36
C2	50.57'	7200.00'	0°28'58"	N 07°01'07" E	50.57'

PLAT DATA

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50	3630.00'	----	N 04°04' E	50
C2	50	7200.00'	----	N 06°39' E	50

CERTIFIED TO:
BOSS & MENNIE

DESCRIPTION:
LOT 17, BLOCK 6, DAVIS ISLANDS, HYDE PARK SECTION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 52, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.

ADDRESS: 34 ADALIA AVE, TAMPA, FL. 33606
BOUNDARY SURVEY
(SHOWING ELEVATIONS AND TREE LOCATIONS)

DATE OF FIELD SURVEY: 1-20-2022

OFFICE	REVISIONS
DATE	BY: DESCRIPTION

Prepared For: **BOSS & MENNIE**

Digitally signed by **ALVIE F GRIFFITH**
Date: 2022.02.08
14:24:46 -05'00'

ALVIE F. GRIFFITH
REGISTERED SURVEYOR AND MAPPER
LICENSE NO. 6005 STATE OF FLORIDA
LICENSED BUSINESS NO. 8106

Surveyor Business Lic #LB1806
14052 N. Florida Ave. Tampa FL 33613
Phone: (813) 388-2484

Drawn By: SB Checked By: SB Job No.: **22-002**

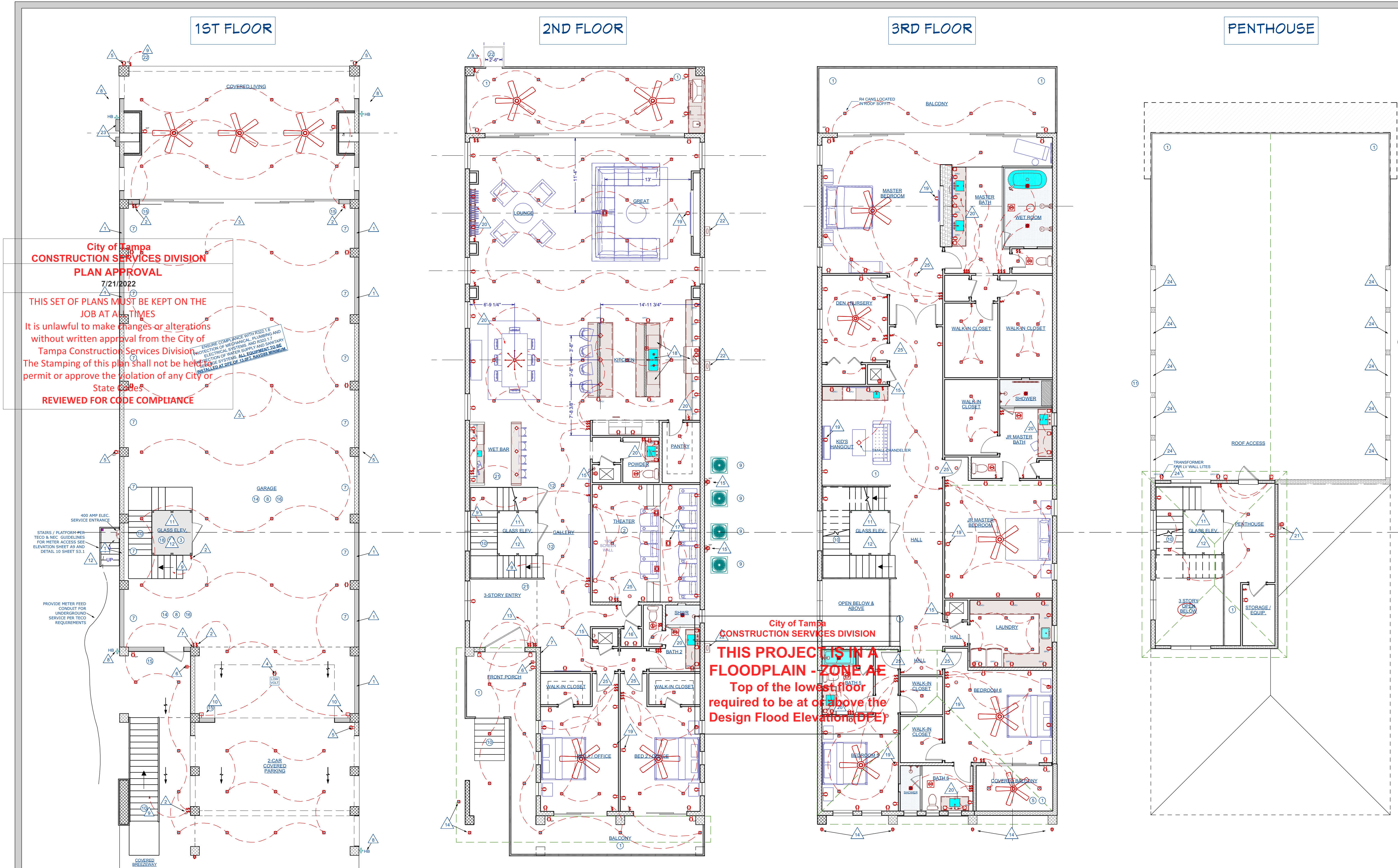
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

1ST FLOOR

2ND FLOOR

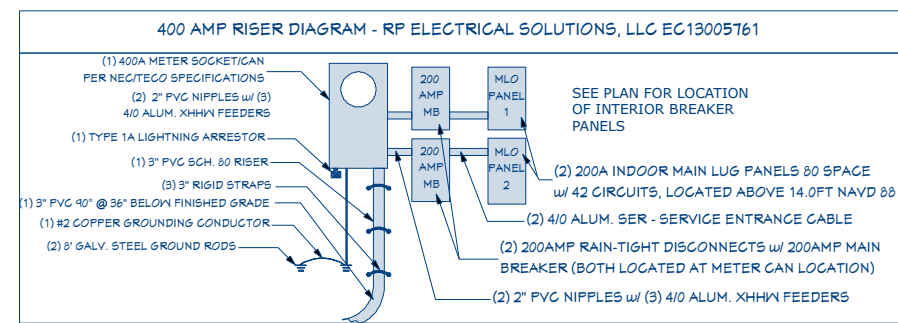
3RD FLOOR

PENTHOUSE



City of Tampa CONSTRUCTION SERVICES DIVISION PLAN APPROVAL 7/21/2022 THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes REVIEWED FOR CODE COMPLIANCE

City of Tampa CONSTRUCTION SERVICES DIVISION THIS PROJECT IS IN A FLOODPLAIN - ZONE AE Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)



ELECTRICAL WIRE SCHEDULE table with columns for symbol, description, and notes. Includes items like NO ELECTRICAL MECHANICAL PLUMBING (MEPS) CAN BE MOUNTED TO A BREAK-AWAY WALL, WIRELESS SWITCH, MOUNT MOTION SENSOR, etc.

Legend table with columns for NO Symbol, Description, and Electrical Schedule. Lists symbols for SINGLE WALL SCOPE, PENDANT, Smoke Detector, Rain Chandelier Extra Long, Fan Chandelier, Flush, PENDANT 2, EXT. ACCENT LIGHT, DINING CHANDLER, Single Pole, Classic Ceiling Fan, 3-Way Switch, Three Way, Duplex Ceiling Mounted, Duplex Weatherproof, Duplex, Doorbell, RECEIVED LED CAN WITH 3 OPTION K RATING (3000/4000/5000), LOW VOLTAGE WIRE, Weatherproof, Weatherproof, Doorbell, WALL SCOPE, RECEIVED SHOWER RATED, SEALED LED LITE, GFCI, Occupancy Sensor, Duplex (split wire), Four Way, 220V, Duplex, Floor Mounted, 220V Weatherproof, Single Pole Dimmer, GFCI WP.

City of Tampa CONSTRUCTION SERVICES DIVISION ENGINEER SEAL BLD-22-0492973 7/21/2022 THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes REVIEWED FOR CODE COMPLIANCE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON (07/20/2022) USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM BOSS & MENNIE LUXURY HOME BUILDERS 100 MAIN ST SUITE 200 SAFETY HARBOR, FL 34695 CGC 1256191

PROJECT ADDRESS PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606

REVISIONS table with columns for NO., DESCRIPTION, DATE, and REVIEWER. Shows 1 revision: PLAN REVIEW REVISIONS dated 07/07/22.

PAGE DESCRIPTION ELECTRICAL PLAN

PERMIT NUMBER CITY OF TAMPA: BLD-22-0492973

SCALE: 1/8"

SHEET: E-1



City of Tampa
Jane Castor, Mayor

Development & Growth Management
Construction Services Division

1400 North Boulevard
Tampa, Florida 33607
Office: (813) 274-3100
Fax: (813) 259-1712

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0492973 7/21/2022
IF PLANS MUST BE KEPT ON
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Services Division.
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by City or State Codes
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City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022
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REVIEWED FOR CODE COMPLIANCE



V-Zone Building Design and Performance Certificate

For new Construction and substantial improvements in Coastal High Hazard Areas

NOTE: This certificate is not a replacement for the FEMA Elevation Certificate.

(To be completed by a Licensed Professional Engineer or Architect, authorized to certify such information by State)

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0492973 7/21/2022
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REVIEWED FOR CODE COMPLIANCE
FLOODPLAIN - ZONE AE
required to be at or above the
Design Flood Elevation (DFE)

Section 1: Structure Address

Structure Address 34 Adalia Ave

City TAMPA State FLORIDA Zip Code 33606

Section 2: Elevation Information

Record elevations to one tenth of a foot.

Elevation of the bottom of the Lowest Horizontal Structural Member..... 15.9 feet
Base Flood Elevation (BFE)..... 12 feet
Elevation of Lowest Adjacent Grade (LAG)..... 6.3 feet
Depth of scour/erosion used for foundation design..... 2.33 feet
Embedment depth of pilings or foundation below LAG..... 30 feet

Datum of NAVD 88 shall be used as per COT 5-111.81.

Section 3: V Zone Certifying Statement

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
7/21/2022
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REVIEWED FOR CODE COMPLIANCE

I certify that I have developed or reviewed the structural design, plans, and specifications for construction and that the proposed design and methods of construction are in accordance with accepted standards of engineering practice for meeting the following provisions:

- (i) The bottom of the lowest horizontal structural member of the lowest floor (excluding pilings or columns) is elevated to above the DFE; and
- (ii) The pile or column foundation and structure attached thereto are anchored to resist flotation, collapse, lateral movement, or other structural damage from the effects of wind and water loads acting simultaneously on all structure components. Water loading values used are those associated with the base flood. Wind loading values used are those required by the applicable state or local building standards. The scour and erosion at the foundation have been estimated for conditions associated with the base flood, including wave action.

Section 4: Breakaway Walls Certifying Statement

City of Tampa
CONSTRUCTION SERVICES DIVISION
THIS PROJECT IS IN A FLOOD ZONE for Top of the lowest floor Design Flood Elevation (DFE)

I certify that I have developed or reviewed the structural design, plans, and specifications for construction and that the proposed design and methods of construction are in accordance with accepted standards of engineering practice for meeting the following provisions (check one):

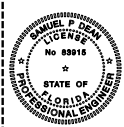
- (i) Breakaway walls will collapse under wind and water loads without causing collapse, displacement, or other structural damage to the elevated portion of the building or supporting foundation system; and
- (ii) Breakaway walls are designed to have a safe loading resistance of not less than 10 and no more than 20 pounds per square foot.
- Breakaway walls are designed to exceed a safe loading resistance of 20 pounds per square foot, and meet the following conditions:
 - (i) Breakaway walls will collapse from a water load less than that which would occur during the base flood; and
 - (ii) The elevated portion of the building and supporting foundation system shall not be subject to collapse, displacement, or other structural damage due to the effects of wind and water loads acting simultaneously on all building components (structural and non-structural); the water loading values used shall be those associated with the base flood; and the wind loading values used shall be those required by applicable State or local standards.

Section 5: Certification

Check one: Sections 3 and 4 Section 3 only Section 4 only

Name (please print): SAMUEL DEAN
 Title: VICE PRESIDENT OF ENGINEERING License No: FL PE#83915
 Phone No: 813-961-3075 Email: SDEAN@BELTENGINEERING.COM
 Company: BELT ENGINEERING
 Address: 1503 W BUSCH BLVD
 City: TAMPA State: FL Zip Code: 33612

Digitally signed by Samuel P. Dean
 Date: 2022.05.11 08:22:48 -04'00'



THIS PRINT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON 05/11/2022 USING A PLAN AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE PLAN AUTHENTICATION CODE MUST BE VIEWED ON ANY ELECTRONIC COPIES.