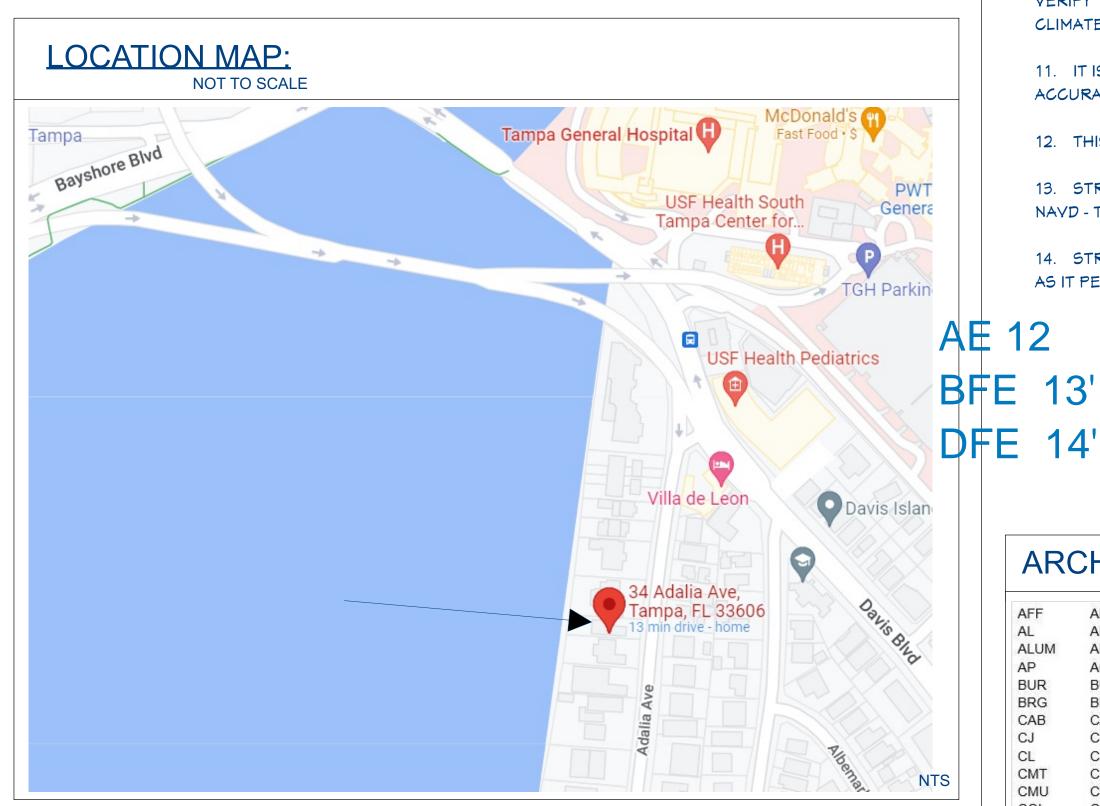
A NEW PRIVATE RESIDENCE





GENERAL NOTES

- 1. THESE CONSTRUCTION DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF BOSS & MENNIE, INC. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT BOSS & MENNIE, INC.'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.
- 2. WHERE SPECIFIED MATERIAL, EQUIPMENT OR SPECIALTY ITEMS REQUIRE EXCESSIVE TIME THAT MAY CAUSE DELAY TO CONSTRUCTION SCHEDULE, CONTRACTOR SHALL PROVIDE AVAILABLE ALTERNATE WITH PRICING AND MANUFACTURER DATA.
- 3. PROJECT CONDITIONS AND ACTIVITIES SHALL COMPLY WITH LOCAL, STATE AND FEDERAL SAFETY GUIDELINES AND CODES.

GENERAL NOTES - CONTINUED

- 4. A BLOWER DOOR TEST IS REQUIRED TO BE COMPLETED AND A PASSING SCORE WILL BE REQUIRED FOR ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 5. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE ELECTRICAL BREAKER PANEL.
- 6. ELEVATION CERTIFICATE AND TIE-IN SURVEY WILL BE REQUIRED PRIOR TO STEMWALL AND/OR SLAB POUR.
- 7. FOR ALL DISCREPANCIES BETWEEN BLUEPRINTS AND THE SPECIFICATIONS DOCUMENT FOUND IN THE OWNER/BUILDER CONTRACT, THE SPECIFICATIONS DOCUMENT WILL TAKE PRIORITY.
- 8. VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL & STRUCTURAL DOCUMENTS AND PROPERLY COORDINATED, APPROVED SHOP DRAWINGS.
- 9. ELECTRICAL LOCATIONS SHOWN ON THE ELECTRICAL PLAN MAY BE MODIFIED AT THE SOLE DISCRETION OF BOSS & MENNIE, INC., OR IT'S ELECTRICIAN IN ACCORDANCE WITH NATIONAL AND LOCAL ELECTRICAL CODES. OUTLET, SWITCH AND RECESSED LIGHTING LOCATIONS AND QUANTITIES ARE NOT GUARANTEED AS NECESSARILY SHOWN ON PLANS.
- 10. IT IS THE RESPONSIBILITY OF THE LICENSED HVAC CONTRACTOR TO VERIFY TRUSS LAYOUT AND EQUIPMENT LOCATIONS TO PROVIDE PROPER CLIMATE CONTROL AND SYSTEM OPERATION.
- 11. IT IS THE RESPONSIBILITY OF THE PLUMBER TO VERIFY THE ACCURACY OF ANY PLUMBING FIXTURE DIMENSIONS DURING ROUGH-IN.
- 12. THIS BUILDING IS TYPE V-B CLASSIFICATION.
- 13. STRUCTURE LIES PRIMARILY IN FEMA FLOOD ZONE AE-12 DFE 13.0 FT NAVD TO LOWEST HORIZONTAL SUPPORT (LIMMA APPLIES).
- 14. STRUCTURE MUST COMPLY WITH FBC R322 AND CITY OF TAMPA 5-111 AS IT PERTAINS TO FLOOD ZONE REQUIREMENTS.

THIS PROJECT IS IN A FLOODPLAIN - ZONE AE

City of Tampa
CONSTRUCTION SERVICES DIVISION

Top of the lowest floor required to be at or above the Design Flood Elevation (DFE)

ARCHITECTURAL ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	INSUL	INSULATION
AL	ALUMINUM	I.D.	INSIDE DIAMETER
ALUM	ALUMINUM	K.D.A.T.	KILN DRIED AFTER TREATMENT
AP	ACCESS PANEL	MECH	MECHANICAL
BUR	BUILT-UP ROOF	MICRO	MICROWAVE OVEN
BRG	BEARING	MIL	MILIMETER
CAB	CABINET	NR	NON-RATED
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTERLINE	O.C.	ON CENTER
CMT	CERAMIC MOSIAC TILE	OD	OVERFLOW DRAIN
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	P	PAINT
CONT	CONTINOUS	PTD.	PAINTED
CONC	CONCRETE	P.T.	PRESSURE TREATED
CT	CERAMIC TILE	RD	ROOF DRAIN
DIA	DIAMETER	REF	REFRIDGERATOR
EJ	EXPANSION JOINT	S4S	SMOOTH FOUR SIDES
EQ	EQUAL	SF	SQUARE FEET
ETR	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SFP	SPRAY FIREPROOFING
EXIST	EXISTING	SQ	SQUARE
EXT	EXTERIOR	SS	STAINLESS STEEL
FD	FLOOR DRAIN	ST	STAIN
FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FFE	FINISH FLOOR ELEVATION	T&G	TONGUE AND GROOVE
FT	FEET	T.O.	TOP OF
GA	GALVANIZED	T.O.M.	TOP OF MASONRY
GALV	GALVANIZED		TYPICAL
GC	GENERAL CONTRACTOR	UCR	UNDER COUNTER RECEPTACLE
GL	GLASS	UL	UNDERWRITERS LABORATORY
GMS	GALVANIZED METAL STUD	VCJ	VERTICAL CONTROL JOINT
GWB	GYPSUM WALLBOARD	VCT	VINYL COMPOSITION TILE
GYP	GYPSUM	VERT	VERTICAL
HM	HOLLOW METAL	VTR	VENT THRU ROOF
HR	HOUR	VIF	VERIFY IN FIELD
HRDWR	HARDWARE	W/	WITH
		WD	WOOD

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S1.7 THIRD LEVEL WALL PLAN

.8 PENTHOUSE FLOOR FRAMING PLAN.9 PENTHOUSE WALL FRAMING PLAN

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FLORIDA PRODUCT APPROVALS

<u>Manufacturer</u>	<u>Category</u>	<u>Description</u>	FL Product Approval #
Kolbe Windows and Doors	Windows	Casement Window - Forgent Series - Impact	22235
Kolbe Windows and Doors	Windows	Fixed picture window - Forgent Series - Impact	22242
Clopay	Exterior Doors	Impact lites, Modern Series Overhead Garage Doors	16546.39
Euro-Wall	Exterior Doors	Euro Wall Sliding Glass Door	21179
Euro-Wall	Exterior Doors	Euro Pivoting Inswing/Outswing Impact Door	22410
GAF	Roofing	EverGuard TPO Single-Ply Roof Membrane	5293.1
GAF	Roofing	Liquid Applied Roof Systems	20663-R1
Cast-Crete USA, Inc.	Structural Components	Concrete Lintels	158.1
Lott's Concrete Products	Structural Components	Concrete Lintels	5092.1, 12045.1
Simpson Strong-Tie Co.	Structural Components	META12 / 16	11473.9
Simpson Strong-Tie Co.	Structural Components	HGT-2	10456.4
Simpson Strong-Tie Co.	Structural Components	LGT2	11473.7
Simpson Strong-Tie Co.	Structural Components	H10A	10446.7
Simpson Strong-Tie Co.	Structural Components	LUS210	10655.31
Simpson Strong-Tie Co.	Structural Components	SP1 / SP2	10456.11
Simpson Strong-Tie Co.	Structural Components	Titen HD Anchors	15730.6
Simpson Strong-Tie Co.	Structural Components	H2.5A anchor	10456.3
Smart Vent Products	Flood Vents	Flood vents	5822

CONTACT INFORMATION

BUILDER & DESIGNER:

BOSS & MENNIE, INC. 100 MAIN ST. SUITE 200 SAFETY HARBOR, FL 34695 FL CBC# 1256191 BOSS MENNIE
LUXURY HOME BUILDERS

SURVEYOR: ROBERTSON SURVEYING

14052 N. FLORIDA AVE. TAMPA, FL 33613 LIC # LB8106

STRUCTURAL ENGINEER:
BELT ENGINEERING

1503 WEST BUSCH BLVD. SUITE A TAMPA, FL 33612

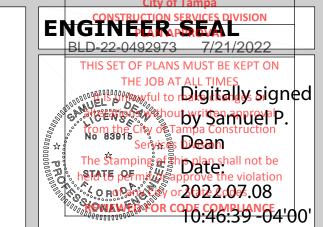
PROJECT ADDRESS: 34 ADALIA AVE. TAMPA, FL 33606



	SQUARE FOOTAGE	
GROUND FLOOR	GARAGE	2505
	COVERED PARKING - EXTERIOR	472
	COVERED ENTRY - EXTERIOR	530
	COVERED REAR LANAI	720
2ND FLOOR	CONDITIONED LIVING	3432
	FRONT PORCH/BALCONY	342
	REAR BALCONY	361
3RD FLOOR	CONDITIONED LIVING	3437
	BED 6 COVERED BALCONY	89
	REAR BALCONY	361
PENTHOUSE	CONDITIONED LANDING	153
	CONDITIONED STORAGE	44
TOTAL - CONDITIONED		7066
	TOTAL - ALL AREAS	12446

APPROVED

By Manuel Zambrano at 7/21/2022 2:26:38 PM



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON [07.08.2022] USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Building - Manuel Zamb

DESIGN/BUILD FIRM

BOSS MENNIE

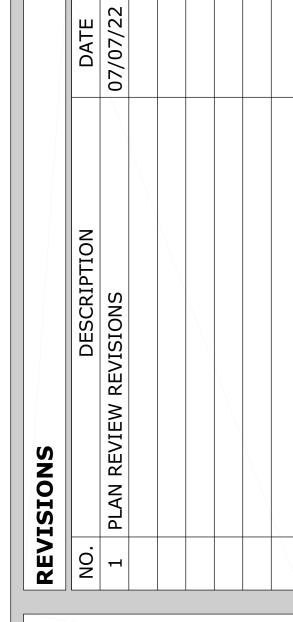
LUXURY HOME BUILDERS

100 MAIN ST SUITE 200

SAFETY HARBOR, FL 34695 CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

COVER SHEET

PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

N.T.S.

SHEET:

SECTION R322

FLOOD-RESISTANT CONSTRUCTION

R322.1 General. Buildings and structures constructed in whole or in part in flood hazard areas, including A or V Zones and Coastal A Zones, as established in Table R301.2(1), and substantial improvement and repair of substantial damage of buildings and structures in flood hazard areas, shall be designed and constructed in accordance with the provisions contained in this section. Buildings and structures that are located in more than one flood hazard area shall comply with the provisions associated with the most restrictive flood hazard area. Buildings and structures located in whole or in part in identified floodways shall be designed and constructed in accordance with ASCE 24.

R322.1.1 Alternative provisions. As an alternative to the requirements in Section R322, ASCE 24 is permitted subject to the limitations of this code and the limitations therein.

R322.1.2 Structural systems. Structural systems of buildings and structures shall be designed, connected and anchored to resist flotation, collapse or permanent lateral movement due to structural loads and stresses from flooding equal to the design flood elevation.

R322.1.3 Flood-resistant construction. Buildings and structures erected in areas prone to flooding shall be constructed by methods and practices that minimize flood damage.

R322.1.4 Establishing the design flood elevation. The design flood elevation shall be used to define flood hazard areas. At a minimum, the design flood elevation shall be the higher of the following:

1. The base flood elevation at the depth of peak elevation of flooding, including wave height, that has a 1 percent (100-year flood) or greater chance of being equaled or exceeded in any given year; or 2. The elevation of the design flood associated with the area designated on a flood hazard map adopted by the community, or otherwise legally designated.

R322.1.4.1 Determination of design flood elevations. If design flood elevations are not specified, the building official is authorized to require the applicant to comply with either of

the following:

1. Obtain and reasonably use data available from a federal, state or other source; or

2. Determine the design flood elevation in accordance with accepted hydrologic and hydraulic engineering practices used to define special flood hazard areas. Determinations shall be undertaken by a registered *design professional* who shall document that the technical methods used reflect currently accepted engineering practice. Studies, analyses and computations shall be submitted in sufficient detail to allow thorough review and approval.

R322.1.4.2 Determination of impacts. In riverine flood hazard areas where design flood elevations are specified but floodways have not been designated, the applicant shall demonstrate that the effect of the proposed buildings and structures on design flood elevations, including fill, when combined with other existing and anticipated flood hazard area encroachments, will not increase the design flood elevation more than 1 foot (305 mm) at any point within the *jurisdiction*.

R322.1.5 Lowest floor. The lowest floor shall be the lowest floor of the lowest enclosed area, including *basement*, and excluding any unfinished flood-resistant enclosure that is

useable solely for vehicle parking, building access or limited storage provided that such enclosure is not built so as to render the building or structure in violation of this section. R322.1.6 Protection of mechanical, plumbing and electrical systems. Electrical systems, equipment and components; heating, ventilating, air conditioning; plumbing appliances and plumbing fixtures; duct systems; and other service equipment shall be located at or above the elevation required in Section R322.2 or R322.3. If replaced as part of a

substantial improvement, electrical systems, equipment and components; heating, ventilating, air conditioning and plumbing appliances and plumbing fixtures; duct systems; and other service equipment shall meet the requirements of this section. Systems, fixtures, and equipment and components shall not be mounted on or penetrate through walls intended to break away under flood loads.

Exception: Locating electrical systems, *equipment* and components; heating, ventilating, air conditioning; plumbing *appliances* and plumbing fixtures; *duct systems*; and other service *equipment* is permitted below the elevation required in Section R322.2 or R322.3 provided that they are designed and installed to prevent water from entering or accumulating within the components and to resist hydrostatic and hydrodynamic loads and stresses, including the effects of buoyancy, during the occurrence of flooding to the design flood elevation in accordance with ASCE 24. Equipment for pools, spas and water features shall be permitted below the elevation required in Section R322.2 or R322.3 provided it is elevated to the extent practical, is anchored to prevent flotation and resist flood forces, and is supplied by branch circuits that have ground-fault circuitinterrupter protections. Electrical part of this code for wet

保部科多才Rbj でするのが work Rsylpの下部のはがほうない。 New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the systems in accordance with the plumbing provisions of this code. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of local and in accordance with the plumbing provisions of this code and in accordance with Chapter 64E-6, Florida Administrative 102012 Standards for Onsite Sewage Treatment and Disposal Systems.

R322.1.8 Flood-resistant materials. Building materials and installation methods used for flooring and interior and exterior walls and wall coverings below the elevation required in

R322.1.9 Manufactured homes. In addition to the applicable requirements of the state agency with jurisdiction over installation of manufactured homes, installation of the stallation of manufactured homes, installation of manufactured homes, installation of manufactured homes, installation of manufactured homes, installation of manufactured homes, insta Williaght with the City of

Rβ22/2/፲፱০০% hazarid are not subject to high-velocity wave action shall be designated as flood hazard areas. Flood hazard areas that have been delineated as subject to wave heights between 11/2 feet (457 mm) and 3 feet (914 mm) or otherwise designated as coastal A Zones and are subject to the requirements of Section R322.3. Buildings and structures constructed in whole or in part

in flood hazard areas shall be designed arid gonstructed in accordance with Sections R322.2.1 through R322.2.3. R322.2.1 Elevation requirements. 1. Buildings and structures in 1665 hazard areas,

inobeding flood hazardareas designated as Constat A Zones, shall have the lowest floors elevated to or above the base flood elevation plus 1 foot (305 mm), or the design flood elevation, whichever is higher.

2. In areas of shallow flooding (AO Zones), buildings and structures shall have the lowest floor (including basement) elevated to a height above the highest adjacent grade of not less than the depth number specified in feet (mm) on the FIRM plus 1 foot (305 mm), or not less than 3 feet (915 mm) if a depth number is not specified.

3. Basement floors that are below grade on all sides shall be elevated to or above base flood elevation plus 1 foot (305 mm), or the design flood elevation, whichever is higher.

Exception: Enclosed area below design flood elevation, including basements with floors that are not below grade on all sides, shall meet the requirements of Section R322.2.2.

R322.2.2 Enclosed area below design flood elevation. Enclosed areas, including crawl spaces, that are below the design flood elevation shall:

1. Be used solely for parking of vehicles, building access or storage.

2. Be provided with flood openings that meet the following criteria and are installed in accordance with Section R322.2.2.1:

2.1. The total net area of non-engineered openings shall be not less than 1 square inch (645 mm2) for each square foot (0.093 m2) of enclosed area where the enclosed area is measured on the exterior of the enclosure walls, or the openings shall be designed as engineered openings and the construction documents shall include a statement by a registered design professional that the design of the openings will provide for equalization of hydrostatic flood forces on exterior walls by allowing for the automatic entry and exit of floodwaters as specified in Section 2.7.2.2 of ASCE 24.

2.2. Openings shall be not less than 3 inches (76 mm) in any direction in the plane of the wall.

2.3. The presence of louvers, blades, screens and faceplates or other covers and devices shall allow the automatic flow of floodwater into and out of the enclosed areas and shall be accounted for in the determination of the net open area.

R322.2.2.1 Installation of openings. The walls of enclosed a

shall have openings.
The bottom of each opening shall be not more than 1 foot (305 mm) above the higher of the final interior grade or floor and the finished exterior grade immediately under each 3. Openings shall be permitted to be installed in doors and windows; doors and windows without installed openings do not meet the requirements of this section

SECTION R308 GLAZING

R308.1 Identification. Except as indicated in Section R308.1.1 each pane of glazing installed in hazardous loca-tions as defined in Section R308.4 shall be provided with a manufacturer's designation specifying who applied the designation, designating the type of glass and the safety glazing standard with which it complies, which is visible in the final installation. The designation shall be acid etched, sandblasted, ceramic-fired, laser etched, embossed, or be of a type that once applied cannot be removed without being destroyed. A label shall be permitted in lieu of the manufacturer's designation.

1. For other than tempered glass, manufacturer's desig-

nations are not required provided that the building official approves the use of a certificate, affidavit or other evidence confirming compliance with this code. . Tempered spandrel glass is permitted to be identified by the manufacturer with a removable paper designation.

R308.1.1 Identification of multiple assemblies. Multi-pane assemblies having individual panes not exceeding 1 square foot (0.09 m2) in exposed area shall have not less than one pane in the assembly identified in accordance with Section R308.1. Other panes in the assembly shall be labeled "CPSC 16 CFR 1201" or "ANSI Z97.1" as appropriate. R308.2 Louvered windows or jalousies. Regular, float, wired or patterned glass in jalousies and louvered windows shall be not less than nominal 3/16 inch (5 mm) thick and not more than 48 inches (1219 mm) in length. Exposed glass edges shall be smooth.

R308.2.1 Wired glass prohibited. Wired glass with wire exposed on longitudinal edges shall not be used in jalou-sies or louvered windows. R308.3 Human impact loads. Individual glazed areas, including glass mirrors in hazardous locations such as those indicated as defined in Section R308.4, shall pass the test requirements of Section R308.3.1.

Exceptions: 1. Louvered windows and jalousies shall comply with

Section R308.2.

2. Mirrors and other glass panels mounted or hung on a surface that provides a continuous backing support. 3. Glass unit masonry complying with Section R607.

R308.3.1 Impact test. Where required by other sections of the code, glazing shall be tested in accordance with CPSC 16 CFR 1201. Glazing shall comply with the test criteria for Category II unless otherwise indicated in Table R308.3.1(1). **Exception:** Glazing not in doors or enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers shall be permitted to be tested in accordance with ANSI Z97.1.

Glazing shall comply with the test criteria for Class A unless indicated in Table R308.3.1(2). R308.4 Hazardous locations. The locations specified in Sections R308.4.1 through R308.4.7 shall be considered to be specific hazardous locations for the purposes of glazing. R308.4.1 Glazing in doors. Glazing in fixed and operable panels of swinging, sliding and bifold doors shall be considered to be a hazardous location.

Exceptions: 1. Glazed openings of a size through which a 3inch-diameter (76 mm) sphere is unable to pass. 2. Decorative glazing.

R308.4.2 Glazing adjacent to doors. Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches (1524mm) above the floor or walking surface and it meets either of the following conditions:

1. Where the glazing is within 24 inches (610 mm) of either side of the door in the plane of the door in a closed position

2. Where the glazing is on a wall less than 180 degrees from the plane of the door in a closed position and within 24 inches (610 mm) of the hinge side of an in-swinging door. **Exceptions:** 1. Decorative glazing

2. Where there is an intervening wall or other permanent barrier between the door and the glazing. 3. Where access through the door is to a closet or storage area 3 feet (914 mm) or less in depth. Glazing in this application shall comply with Section R308.4.3.

4. Glazing that is adjacent to the fixed panel of patio

R308.4.3 Glazing in windows. Glazing in an individual fixed or operable panel that meets all of the following conditions shall be considered to be a hazardous location:

1. The exposed area of an individual pane is larger than 9 square feet (0.836 m2), 2. The bottom edge of the glazing is less than 18 inches (457 mm) above the floor,

3. The top edge of the glazing is more than 36 inches (914 mm) above the floor; and 4. One or more walking surfaces are within 36 inches (914 mm), measured horizontally and in a straight line, of the glazing.

 Decorative glazing 2. Where glazing is adjacent to a walking surface and a horizontal rail is installed 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (730 N/m) without contacting the glass and have a cross-sectional height of not less than 11/2 inches (38 mm). 3. Outboard panes in insulating glass units and other multiple glazed panels where the bottom edge of the glass is 25 feet (7620 mm) or more above *grade*, a roof, walking

surfaces or other horizontal [within 45 degrees (0.79 rad) of horizontal] surface adjacent to the glass exterior. R308.4.4 Glazing in guards and railings. Glazing in guards and railings, including structural baluster panels and nonstructural in-fill panels, regardless of area or height above a walking surface shall be considered to be a hazardous location.

R308.4.5 Glazing and wet surfaces. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface shall be considered to be a hazardous location. This shall apply to single glazing and each pane in multiple glazing.

Exception: Glazing that is more than 60 inches (1524 mm), measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool or swimming pool or from the edge of a shower, sauna or steam room. R308.4.6 Glazing adjacent to stairs and ramps. Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.

1. Where glazing is adjacent to a walking surface and a horizontal rail is installed at 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (730 N/m) without contacting the glass and have a cross-sectional height of not less than 11/2 inches (38 mm).

2. Glazing 36 inches (914 mm) or more measured horizontally from the walking surface. R308.4.7 Glazing adjacent to the bottom stair landing. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches (914 mm) above the landing and within a 60-inch (1524 mm) horizontal arc less than 180 degrees from the bottom tread nosing shall be considered to be a hazardous location. See Figure R308.4.7.

Exception: The glazing is protected by a *guard* complying with Section R312 and the plane of the glass is more than 18 inches (457 mm) from the *guard*.

PLEASE REFER TO CITY OF TAMPA CODE 5-111 TO ENSURE COMPLIANCE WITH ADDITIONAL FLOOD-RESISTANT CONSTRUCTION REQUIREMENTS.

SECTION R308 GLAZING

R308.1 Identification. Except as indicated in Section R308.1.1 each pane of glazing installed in hazardous loca-tions as defined in Section R308.4 shall be provided with a manufacturer's designation specifying who applied the designation, designating the type of glass and the safety glazing standard with which it complies, which is visible in the final installation. The designation shall be acid etched, sandblasted, ceramic-fired, laser etched, embossed, or be of a type that once applied cannot be removed without being destroyed. A label shall be permitted in lieu of the manufacturer's designation.

Exceptions:

1. For other than tempered glass, manufacturer's designations are not required provided that the building official approves the use of a certificate, affidavit or other evidence confirming compliance with this code.

Tempered spandrel glass is permitted to be identified by the manufacturer with a removable paper designation R308.1.1 Identification of multiple assemblies. Multi-pane assemblies having individual panes not exceeding 1 square foot (0.09 m2) in exposed area shall have not less than one pane in the assembly identified in accordance with Section R308.1. Other panes in the assembly shall be labeled "CPSC 16 CFR 1201" or "ANSI Z97.1" as appropriate. R308.2 Louvered windows or jalousies. Regular, float, wired or patterned glass in jalousies and louvered windows shall be not less than nominal 3/16 inch (5 mm) thick and not more than 48 inches (1219 mm) in length. Exposed glass edges shall be smooth.

R308.2.1 Wired glass prohibited. Wired glass with wire exposed on longitudinal edges shall not be used in jalou-sies or louvered windows. R308.3 Human impact loads. Individual glazed areas, including glass mirrors in hazardous locations such as those indicated as defined in Section R308.4, shall pass the test requirements of Section R308.3.1.

Exceptions: 1. Louvered windows and jalousies shall comply with

Section R308.2.

2. Mirrors and other glass panels mounted or hung on a

surface that provides a continuous backing support. 3. Glass unit masonry complying with Section R607. R308.3.1 Impact test. Where required by other sections of the code, glazing shall be tested in accordance with CPSC 16 CFR 1201. Glazing shall comply with the test criteria for Category II unless otherwise indicated in Table R308.3.1(1).

Exception: Glazing not in doors or enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers shall be permitted to be tested in accordance with ANSI Z97.1. Glazing shall comply with the test criteria for Class A unless indicated in Table R308.3.1(2).

R308.4 Hazardous locations. The locations specified in Sections R308.4.1 through R308.4.7 shall be considered to be specific hazardous locations for the purposes of glazing. R308.4.1 Glazing in doors. Glazing in fixed and operable panels of swinging, sliding and bifold doors shall be considered to be a hazardous location. Exceptions:

1. Glazed openings of a size through which a 3-

inch-diameter (76 mm) sphere is unable to pass. 2. Decorative glazing. R308.4.2 Glazing adjacent to doors. Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches (1524mm) above the floor or walking surface and it meets either of the following conditions:

1. Where the glazing is within 24 inches (610 mm) of either side of the door in the plane of the door in a closed position. 2. Where the glazing is on a wall less than 180 degrees from the plane of the door in a closed position and within 24 inches (610 mm) of the hinge side of an in-swinging door. **Exceptions:**

2. Where there is an intervening wall or other permanent barrier between the door and the glazing.

3. Where access through the door is to a closet or storage area 3 feet (914 mm) or less in depth. Glazing in this application shall comply with Section R308.4.3. 4. Glazing that is adjacent to the fixed panel of patio

R308.4.3 Glazing in windows. Glazing in an individual fixed or operable panel that meets all of the following conditions shall be considered to be a hazardous location:

1. The exposed area of an individual pane is larger than 9 square feet (0.836 m2). 2. The bottom edge of the glazing is less than 18 inches (457 mm) above the floor,

3. The top edge of the glazing is more than 36 inches (914 mm) above the floor; and 4. One or more walking surfaces are within 36 inches (914 mm), measured horizontally and in a straight line, of the glazing.

1. Decorative glazing

Exceptions

1. Decorative glazing

2. Where glazing is adjacent to a walking surface and a horizontal rail is installed 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (730 N/m) without contacting the glass and have a cross-sectional height of not less than 11/2 inches (38 mm). 3. Outboard panes in insulating glass units and other multiple glazed panels where the bottom edge of the glass is 25 feet (7620 mm) or more above grade, a roof, walking

surfaces or other horizontal [within 45 degrees (0.79 rad) of horizontal] surface adjacent to the glass exterior. R308.4.4 Glazing in guards and railings. Glazing in guards and railings, including structural baluster panels and nonstructural in-fill panels, regardless of area or height above a walking surface shall be considered to be a hazardous location.

R308.4.5 Glazing and wet surfaces. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface shall be considered to be a hazardous location. This shall apply to single glazing and each pane in multiple glazing. Exception: Glazing that is more than 60 inches (1524 mm), measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool or swimming

pool or from the edge of a shower, sauna or steam room R308.4.6 Glazing adjacent to stairs and ramps. Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.

1. Where glazing is adjacent to a walking surface

and a horizontal rail is installed at 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (730 N/m) without contacting the glass and have a cross-sectional height of not less than 11/2 inches (38 mm). 2. Glazing 36 inches (914 mm) or more measured horizontally from the walking surface.

R308.4.7 Glazing adjacent to the bottom stair landing. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches (914 mm) above the landing and within a 60-inch (1524 mm) horizontal arc less than 180 degrees from the bottom tread nosing shall be considered to be a hazardous location. See Figure R308.4.7. **Exception:** The glazing is protected by a *guard* complying with Section R312 and the plane of the glass is more than 18 inches (457 mm) from the *guard*.

> City of Tampa **CONSTRUCTION SERVICES DIVISION**

THIS PROJECT IS IN A

SECTION R318 PROTECTION AGAINST TERMITES OF LAIN - ZONE AE R318.1 Termite protection. Termite protection shall be provided by registered termiticides, in

including soil applied pesticides, baiting systems, and pesticides applied to wood, or other approved methods of termite protection labeled for use as a preventative treatment to new construction. See Section 202, "Registered termiticide." Upon completion of the application of the termite protective treatment, a Certificate of Compliance shall be issued to the building department by the licensed pest control company that contains the following statement: "The building has repeixed a complete treatment farthe prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.

R318.1.1 If soil treatment is used for subternal earlier all excavation, backfilling and compaction is complete.

R318.1.2 If soil treatment is used for subterranean termite prevention, soil area disturbed after initial chemical soil treatment shall be retreated with a chemical soil treatment, including spaces boxed or formed.

R318.1.3 If soil treatment is used for subterranean termite prevention, space in concrete floors boxed out or formed for the subsequent installation of plumbing traps, drains or any other purpose shall be created by using plastic or metal permanently placed forms of sufficient depth to eliminate any planned soil disturbance after initial chemical soil treatment. R318.1.4 If soil treatment is used for subterranean termite prevention, chemically treated soil shall be protected with a minimum 6 mil vapor retarder to protect against rainfall dilution. If rainfall occurs before vapor retarder placement, retreatment is required. Any work, including placement of reinforcing steel, done after chemical treatment until the concrete floor is poured, shall be done in such manner as to avoid penetrating or disturbing treated soil.

R318.1.5 If soil treatment is used for subterranean termite prevention, concrete overpour or mortar accumulated along the exterior foundation perimeter shall be removed prior to exterior chemical soil treatment, to enhance vertical penetration of the chemicals. R318.1.6 If soil treatment is used for subterranean termite prevention, chemical soil treatments shall also be applied under all exterior concrete or grade within 1 foot (305mm) of

the primary structure sidewalls. Also, a vertical chemical barrier shall be applied promptly after construction is completed, including initial landscaping and irrigation/sprinkler installation. Any soil disturbed after the chemical vertical barrier is applied shall be promptly retreated. R318.1.7 If a registered termiticide formulated and registered as a bait system is used for subterranean termite prevention, Sections R318.1.1 through R318.1.6 do not apply;

however, a signed contract assuring the installation, maintenance and monitoring of the baiting system that is in compliance with the requirements of Chapter 482, Florida Statutes shall be provided to the building official prior to the pouring of the slab, and the system must be installed prior to final building approval. If the baiting system directions for use require a monitoring phase prior to installation of the pesticide active ingredient, the installation of the monitoring phase components shall be deemed to constitute installation of

R318.1.8 If a registered termiticide formulated and registered as a wood treatment is used for subterranean termite prevention, Sections R318.1.1 through R318.1.6 do not apply. Application of the wood treatment termiticide shall be as required by label directions for use, and must be completed prior to final building approval.

Sec. 27-156. - Official schedule of district regulations. Sec. 27-158. - Height regulation generally

Excluded portions of structures. Except as specifically provided herein, the height limitations of this chapter shall not apply to any penthouses or roof structures for housing elevators, stairways, tanks, ventilating fans, solar energy collectors, chimneys or similar equipment required to operate and maintain the building (provided that such structures shall not cover more than twenty (20) percent of roof area), nor to place of religious assembly spires, steeples, belfries, cupolas, domes, monuments, widow's walk or other accessible features, nor to water towers, skylights, flag poles, vents or similar structures and other similar architectural features which may be erected above the height limit, nor to fire or parapet walls, provided however that such walls shall not extend more than five (5) feet above the roof. Such features on fences/walls shall not extend more than one (1) foot above the maximum height, and shall have an eight-foot spacing between them.

R311.7 Stairways

R311.7.1 Width. Stairways shall be not less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. The clear width of the stairway at and below the handrail height, including treads and landings, shall be not less than 31-1/2 inches (787) mm) where a handrail is installed on one side and 27 inches (698 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.2 Headroom. The headroom in stairways shall be not less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.

Exceptions:

1. Where the nosings of treads at the side of a flight extend under the edge of a floor opening through which the stair passes, the floor opening shall be allowed to project horizontally into the required headroom not more than 43/4 inches (121 mm).

2. The headroom for spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.3 Vertical rise. A flight of stairs shall not have a vertical rise larger than 151 inches (3835 mm) between floor levels or landings.

R311.7.4 Walkline. The walkline across winder treads shall be concentric to the curved direction of travel through the turn and located 12 inches (305 mm) from the side where the winders are narrower. The 12-inch (305 mm) dimension shall be measured from the widest point of the clear stair width at the walking surface of the winders are adjacent within the flight, the point of the wid-est clear stair width of the adjacent winders shall be used.

R311.7.5 Stair treads and risers. Stair treads and risers shall meet the requirements of this section. For the purposes of this section, dimensions and dimensioned surfaces shall be exclusive of carpets, rugs or runners.

R311.7.5.1 Risers. The riser height shall be not more than 73/4 inches (196 mm). The riser shall be measured vertically between leading edges of the

adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above at an angle not more than 30 degrees (0.51 rad) from the vertical. Open risers are permitted provided that the openings located more than 30 inches (762 mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inchdiameter (102 mm) sphere. **Exceptions:**

1. The opening between adjacent treads is not

limited on spiral stairways. 2. The riser height of spiral stairways shall be in

accordance with Section R311.7.10.1.

R311.7.5.2 Treads. The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed smallest by more than 3/8 inch (9.5 mm). R311.7.5.2.1 Winder treads. Winder treads shall

have a tread depth of not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth of not less than 6 inches (152 mm) at any point within the clear width of the stair. Within any flight of stairs, the largest winder tread depth at the walkline shall not exceed the smallest winder tread by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the

Exception: The tread depth at spiral stairways shall be in accordance with Section R311.7.10.1. **R311.7.5.3 Nosings.** Nosings at treads, landings and floors of stairways shall have a radius of curvature at the nosing not greater than 9/16 inch (14 mm) or a bevel not exceeding 1/2 inch (12.7 mm). A nosing projection not less than 3/4 inch (19 mm) and not more than 11/4 inches (32 mm) shall be provided on stairways. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch (9.5 mm) within a stairway.

Exception: A nosing projection is not required where the tread depth is not less than 11 inches (279 mm).
R311.7.5.4 Exterior plastic composite stair treads. Plastic composite exterior stair treads shall comply with the provisions of this section and Section R311.7.6 Landings for stairways. There shall be a floor or landing at the top and bottom of each stairway. The width perpendicular to the direction of travel shall be not less than the width of the flight served. Landings of shapes other than square or rectangular shall be permitted provided that the depth at the walk line and the total area is not less than that of a quarter circle with a radius equal to the required landing width. Where the stairway has a straight run, the depth in the direction of travel shall be not less than 36 inches (914 mm).

1. A floor or landing is not required at the top of an

interior flight of stairs, including stairs in an enclosed garage, provided that a door does not swing over the stairs.

2. See Section R311.3 for exterior doors where a step down is provided.

R311.7.7 Stairway walking surface. The walking surface of treads and landings of stairways shall be sloped not steeper than one unit vertical in 48 inches

R311.7.8 Handrails. Handrails shall be provided on not less than one side of each flight with four or more risers.

R311.7.8.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

1. The use of a volute, turnout or starting easing

shall be allowed over the lowest tread. 2. Where handrail fittings or bendings are used to

provide continuous transition between flights, transitions at winder treads, the transition from handrail to *guard*, or used at the start of a flight, the handrail height at the fittings or bendings shall be permitted to exceed 38 inches (956 mm).

R311.7.8.2 Continuity. Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 11/2 inches (38 mm) between the wall and the handrails. Exceptions:

1. Handrails shall be permitted to be interrupted by a newel post at the turn.

2. The use of a volute, turnout, starting easing or

starting newel shall be allowed over the lowest tread. **R311.7.8.3 Grip-size.** Required handrails shall be of one of the following types or provide equivalent grasp-ability.

1. Type I. Handrails with a circular cross section shall have an outside diameter of not less than 11/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 61/4 inches (160 mm) with a cross section of dimension of not more than 21/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).

2. Type II. Handrails with a perimeter greater than 61/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 13/4 inches (45 mm) below

the tallest portion of the profile. The width of the handrail above the recess shall be not less than 11/4 inches (32 mm) and not more than 23/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm). R311.7.8.4 Exterior plastic composite handrails. Plastic composite exterior handrails shall comply with the requirements of Section R507.2. R311.7.8.5 Handrail projection. Handrails shall not project more than 41/2 inches (114 mm) on either side of the stairway.

Exception: Where nosings of landings, floors or passing flights project into the stairway reducing the required clearance at passing handrails, the handrail shall project not more than 61/2 inches (165 mm) into the stairway, provided the required stair width and required handrail clearance are not reduced. R311.7.9 Illumination. Stairways shall be provided with illumination in accordance with Section R303.7.
R311.7.10 Special stairways. Spiral stairways and bulkhead enclosure stairways shall comply with the requirements of Section R311.7 except as specified in Sections R311.7.10.1 and R311.7.10.2. R311.7.10.1 Spiral stairways. Spiral stairways are permitted, provided that the clear width at and below the handrail is not less than 26 inches (660 mm) and

the walkline radius is not greater than 241/2 inches (622 mm). Each tread shall have a depth of not less than 63/4 inches (171 mm) at the walkline. All treads shall be identical, and the rise shall be not more than 91/2 inches (241 mm). Headroom shall be not less than 6 feet 6 inches (1982 mm). R311.7.10.2 Bulkhead enclosure stairways. Stairways serving bulkhead enclosures, not part of the required building egress, providing access from the outside *grade* level to the *basement* shall be exempt from the requirements of Sections R311.3 and R311.7 where the height from the *basement* finished floor level to *grade* adjacent to the stairway is not more than 8 feet (2438 mm) and the *grade* level opening to the stairway is covered by a bulkhead enclosure with hinged doors or other *approved* means.

hinged doors or other approved means.

R311.7.11 Alternating tread devices. Alternating tread devices shall not be used as an element of a means of egress. Alternating tread devices shall be permitted provided that the required means of egress stairway or ramp serves the same space at each adjoining level or where a means of egress is not required. The clear width at and below the handrails shall be not less than 20 inches (508 mm). **Exception:** Alternating tread devices are allowed to be used as an element of a means of egress for lofts, mezzanines and similar areas of 200 gross square feet or less and not providing exclusive access to a kitchen or bathroom. **R311.7.11.1 Treads of alternating tread devices.** Alternating tread devices shall have a tread depth of not less than 5 inches (127 mm), a projected tread depth of not less than 81/2 inches (216 mm), a tread width of not less than 7 inches (178 mm) and a riser height of not more than 91/2 inches (241 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projections of adjacent treads. The riser height shall be measured vertically between the leading edges of adjacent treads. The riser height and tread depth provided shall result in an angle of ascent from the horizontal of between 50 and 70 degrees (0.87 and 1.22 rad). The initial tread of the device shall begin at the same elevation as the platform, landing or floor surface. R311.7.11.2 Handrails of alternating tread devices. Handrails shall be provided on both sides of alternating tread devices and shall comply with Sections R311.7.8.2 to R311.7.8.4. Handrail height shall be uniform, not less than 30 inches (762 mm) and not more than 34 inches (864 mm).

SECTION R321

ELEVATORS AND PLATFORM LIFTS R321.1 Elevators. Where provided, passenger elevators, limited-use and limited-application elevators or private residence elevators shall comply with ASME A17.1/CSA B44.

R321.2 Platform lifts. Where provided, platform lifts shall comply with ASME A18.1. R321.3 Accessibility. Reserved.

R321.4 Clearance requirements between elevator doors for elevators inside a private residence. R321.4.1 For elevators installed in a private residence:

(a) The distance between the hoistway face of the hoistway doors and the hoistway edge of the landing sill may not exceed 3/4 inch for swinging doors and 21/4 inches for sliding doors.

1. Horizontal sliding car doors and gates shall be designed and installed to withstand a force of 75 pounds applied horizontally on an area 4 inches by 4 inches at right angles to and at any location on the car door without permanent deformation. The deflection may not exceed 3/4 inch and may not displace the door from its guides or tracks. The force must be applied while the door is in the fully closed position. 2. Folding car doors shall be designed and installed to withstand a force of 75 pounds applied horizontally using a 4-inch-diameter sphere at any location within the folds on the car door without permanent deformation. The deflection may not exceed 3/4 inch and may not displace the door from its guides or

tracks. The force must be applied while the door is in the fully closed position. (c) The distance between the hoistway face of the landing door and the hoistway face of the car door or gate shall conform to one of the following: 1. If a power-operated horizontally sliding hoistway and car doors are used, the measurement between the leading edge of the doors or sight guard, if provided, may not exceed 4 inches. If it is possible for a user to detach or disconnect either door from the operator and such detachment or disconnection

allows the user to operate the door manually, the requirement in subpara-graph 5 applies. 2. If swinging hoistway doors and folding car doors are used and both doors are in the fully closed position, the space between the hoistway door and the folding door must reject a 4-inchdiameter sphere at all points. 3. If swinging hoistway doors and car gates are used, the space between the hoistway door and the car gate must reject a 4-inch-diameter sphere at all

4. If the car doors are powered and arranged so that they cannot be closed until after the hoistway door is closed, and the car doors automatically open when the car is at a landing and the hoistway door is opened, the measurement between the hoistway face of the hoistway door and the hoistway face of the car door at its leading edge may not exceed 4 inches. If it is possible for a user to detach or disconnect either door from the operator and such detachment or disconnection allows the user to operate the door manually, the requirement in subparagraph 5 applies.

5. If swinging or horizontally sliding hoistway doors and manual horizontally sliding car doors are used and both doors are in the fully closed position, the space between the swinging or horizontally sliding hoistway door and the manual horizontally sliding car doors must reject a 4-inch-diameter sphere at all ENGINEER SEAL

THIS SET OF PLANS MUST BE KEPT C THE JOB AT ALL TIMES It is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division. The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON [07.08.2022] USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVIEWED FOR CODE COMPLIANCE

DESIGN/BUILD FIRM

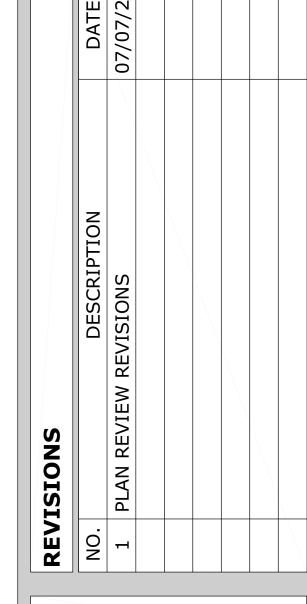
LUXURY HOME BUILDERS 100 MAIN ST SUITE 200

SAFETY HARBOR, FL 34695

CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE *34 ADALIA AVE.* TAMPA, FL 33606



PAGE DESCRIPTION

PLAN

PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

SHEET:

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM

NFIP Regulations

The NFIP regulations for flood damage-resistant materials are codified in Title 44 of the Code of Federal Regulations, in Section 60.3(a) (3), which states that a community shall:

"Review all permit applications to determine whether proposed building sites will be reasonably safe from flooding. If a proposed building site is in a floodprone area, all new construction and substantial improvements shall...(ii) be constructed with materials resistant to flood damage..."

Proposals for substantial improvement of existing buildings in SFHAs, and proposals to repair those that have sustained substantial damage, must comply with the requirements for new construction. As part of issuing permits, community officials must review such proposals to determine whether they comply with the requirements, including the use of flood damage-resistant materials. Refer to the "Classification of Flood Damage-Resistant Materials" section of this Technical Bulletin for additional details. Further information on substantial improvement and substantial damage is found in Answers to Questions About Substantially Damaged Buildings (FEMA 213).

The NFIP Technical Bulletins provide guidance on the minimum requirements of the NFIP regulations. Community or State requirements that exceed those of the NFIP take precedence. Design professionals should contact the community to determine whether more restrictive provisions apply to the building or site in question. All other applicable requirements of the State or local building codes must

City of Tampa CONSTRUCTION SERVICES DIVISION

also be met for buildings in all flood hazard areas.

Requared AseroRPO66 Damage-Resistant Materials

Flood Damage-Resistant Material THIS SET OF PLANS MUST BE KEED I GOOD THE WIFE as "an Building product [insterial, component or system] capable of withstanding direct and prolonged contact with is unlawfulodomsakenshangesnorseliteanations." The

The International Building Code" (IBC°), by reference Design and Construction, without written approval from the City of the Residential Code (IRC'), Tampa Construction Services Division ludes cleaning, require the use of flood damage-resistant materials. sanitizing, and resurfacing (e.g., sanding, repair of joints, re-The Stamping, and the shall be shall the shall the shall be shall the shall be sh

permit or adsorbered the violation to these requirements, individual materials and systems. In addition to these requirements, individual materials that are considered flood damage-Statet Goodes cause degradation of adjacent materials or the systems of which the REVIEWED FOR CODE COMPLIANCE

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All building materials below the BFE must be flood damage-resistant, regardless of the expected or historic flood duration. For example, buildings in coastal areas that experience relatively short-duration flooding (generally, flooding with a duration of less than 24 hours) must be constructed with flood damage-resistant materials below the BFE. As noted in Table 2, only Class 4 and Class 5 materials are acceptable for areas below the BFE in buildings in

In some instances, materials that are not flood damage-resistant materials, such as wiring for fire alarms and emergency lighting, are allowed below the BFE if specifically required to address life safety and electric code requirements for building access and storage areas.

How Flood Damage-Resistant Materials Affect Flood Insurance Rates

 $Careful\ attention\ to\ compliance\ with\ the\ NFIP\ regulations\ for\ flood\ damage-resistant\ materials$ is important during design, plan review, construction, and inspection. Compliance influences both the building's vulnerability to flood damage and the cost of NFIP flood insurance. Flood insurance will not pay a claim for finish materials located in basements or in enclosed areas below the lowest floor of elevated buildings, even if such materials are considered to be flood damage-resistant. NFIP claims for damage below the BFE are limited to utilities and equipment, such as furnaces and water heaters.

Classification of Flood Damage-Resistant Materials

The information in this Technical Bulletin was initially developed based on information in the U.S. Army Corps of Engineers' Flood Proofing Regulations (1995), and has been updated based on additional information from FEMA-funded studies and reports, technical experts, and industry and trade groups. Table 1 classifies building materials according to their ability to resist

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Table 1. Class Descriptions of Materials

Class	Class Description
5	Highly resistant to floodwater¹ damage, including damage caused by moving water.² These materials can survive wetting and drying and may be successfully cleaned after a flood to render them free of most harmful pollutants.³ Materials in this class are permitted for partially enclosed or outside uses with essentially unmitigated flood exposure.
4	Resistant to floodwater¹ damage from wetting and drying, but less durable when exposed to moving water.² These materials can survive wetting and drying and may be successfully cleaned after a flood to render them free of most harmful pollutants.³

Materials in this class may be exposed to and/or submerged in floodwaters in interior spaces and do not require special waterproofing protection. Resistant to clean water⁴ damage, but not floodwater damage. Materials in this class may be submerged in clean water during periods of flooding. These materials can survive wetting and drying, but may not be able to be successfully cleaned after floods to render them free of most3 harmful pollutants. Not resistant to clean water4 damage. Materials in this class are used in predominant-

ly dry spaces that may be subject to occasional water vapor and/or slight seepage. These materials cannot survive the wetting and drying associated with floods. Not resistant to clean water4 damage or moisture damage. Materials in this class are used in spaces with conditions of complete dryness. These materials cannot survive the wetting and drying associated with floods.

1. Floodwater is assumed to be considered "black" water; black water contains pollutants such as sewage, chemicals, heavy metals,

or other toxic substances that are potentially hazardous to humans 2. Moving water is defined as water moving at low velocities of 5 feet per second (fps) or less. Water moving at velocities greater

3. Some materials can be successfully cleaned of most of the pollutants typically found in floodwater. However, some individual

pollutants such as heating oil can be extremely difficult to remove from uncoated concrete. These materials are flood damage-resistant except when exposed to individual pollutants that cannot be successfully cleaned. 4. Clean water includes potable water as well as "gray" water; gray water is wastewater collected from normal uses (laundry, bathing,

MODIFIED FROM: USACE 1995 Flood Proofing Regulations

Table 2 lists structural materials and finish materials commonly used in construction of floors, walls, and ceilings. For the purpose of this Technical Bulletin, structural materials and finish materials are defined as follows:

Structural materials include all elements necessary to provide structural support, rigidity, and integrity to a building or building component. Structural materials include floor slabs, beams, subfloors, framing, and structural building components such as trusses, wall panels, I-joists and headers, and interior/exterior sheathing.

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Finish materials include all coverings, finishes, and elements that do not provide structural support or rigidity to a building or building component. Finish materials include floor coverings, wall and ceiling surface treatments, insulation, cabinets, doors, partitions, and

Notes Regarding Classification of Materials

The classifications in Table 2 are based on the best information available at the time of publication. However, flood damage-resistance is determined by factors that may be a function of the specific application and by the characteristics of the floodwaters. Each situation requires sound judgment and knowledge of probable contaminants in local floodwaters to select materials that are required to resist flood damage. For materials and products that are listed in Table 2, manufacturers' use and installation instructions must be followed to ensure maximum performance. Masonry and wood products used below the BFE must comply with the applicable standards published by the American Society for Testing and Materials (ASTM), the American Concrete Institute (ACI), the Truss Plate Institute (TPI), the American Forest & Paper Association (AF&PA), and other appropriate organizations.

1. Materials Not Listed: Table 2 does not list all available structural materials and finish materials. For materials and products not listed, manufacturers' literature (i.e., specifications, materials safety data sheets, test reports) should be evaluated to determine if the product meets flood damage-resistance requirements. Materials and products that are not listed in Table 2 may be used if accepted by the local official. Acceptance should be based on sufficient evidence, provided by the applicant, that the materials proposed to be used below the BFE will resist flood damage without requiring more than cosmetic repair and cleaning.

2. Unacceptable Materials: Class 1, 2, and 3 materials are unacceptable for below-BFE applications for one or more of the following reasons:

■ Normal adhesives specified for above-grade use are water soluble or are not resistant to alkali or acid in water, including groundwater seepage and vapor.

■ The materials contain wood or paper products, or other materials that dissolve or deteriorate, lose structural integrity, or are adversely affected by water.

■ Sheet-type floor coverings (linoleum, rubber tile) or wall coverings (wallpaper) restrict drying of the materials they cover.

■ Materials are dimensionally unstable.

■ Materials absorb or retain excessive water after submergence.

3. **Impact of Material Combinations:** In some cases, the combination of acceptable structural and finish materials can negatively impact the classification of individual materials. This is illustrated by the following examples:

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■ Vinyl tile with chemical-set adhesives is an acceptable finish flooring material when placed on a concrete structural floor. However, when the same vinyl tile is applied over a plywood structural floor, it is no longer considered acceptable because the vinyl tile must be removed to allow the plywood to dry.

■ Polyester-epoxy or oil-based paints are acceptable wall finishes when applied to a concrete structural wall. However, when the same paint is applied to a wood wall, it is no longer considered acceptable. Recent FEMA-supported studies by Oak Ridge National Labora-

tory have found that low-permeability paint can inhibit drying of the wood wall. 4. Impact of Long-Duration Exposure and/or Contaminants: The classifications of materials listed in Table 2 do not take into account the effects of long-duration exposure to floodwa-

ters or contaminants carried by floodwaters. This is illustrated by the following examples:

Following Hurricane Katrina, FEMA deployed a Mitigation Assessment Team (MAT) to examine how building materials performed after long-duration exposure (2 to 3 weeks) to floodwaters (FEMA 549). The field survey revealed that some materials absorbed floodborne biological and chemical contaminants. However, it is not known at this time if a shorter duration flood event would have significantly altered the absorption rates of those contaminants.

■ Building owners, design professionals, and local officials should consider potential exposure to floodborne contaminants when selecting flood damage-resistant materials. For example, Table 2 lists cast-in-place concrete, concrete block, and solid structural wood (2x4s, etc.), as acceptable flood damage-resistant materials. However, experience has shown that buildings with those materials can be rendered unacceptable for habitation after being subjected to floodwaters with significant quantities of petroleum-based products such as home heating oil. Commonly used cleaning and remediation practices do not reduce the "off-gassing" of volatile hydrocarbons from embedded oil residues to acceptable levels that are established by the U.S. Environmental Protection Agency. Other materials, when exposed to these types of contaminants, may also not perform acceptably as flood damage-resistant materials.

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Table 2. Types, Uses, and Classifications of Materials

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		Building	Cla	sses of	Buildin	g Mater	ials
Types of Building Materials	Mat	erials	Acce	otable	Un	accepta	ble
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Floors	Walls/ Ceilings	5	4	3	2	1
Structural Materials (floor slabs, beams, subfloors, framing, and interior/exterior sheathing)							
Asbestos-cement board							
Brick		10 0					
Face or glazed							
Common (clay)							
Cast stone (in waterproof mortar)							
Cement board/fiber-cement board							
Cement/latex, formed-in-place							
Clay tile, structural glazed							
Concrete, precast or cast-in-place	-						
Concrete block ¹							
Gypsum products							
Paper-faced gypsum board							
Non-paper-faced gypsum board							
Greenboard							
Keene's cement or plaster							
Plaster, otherwise, including acoustical							
Sheathing panels, exterior grade							
Water-resistant, fiber-reinforced gypsum exterior sheathing							
Hardboard (high-density fiberboard)							
Tempered, enamel or plastic coated							
All other types							
Mineral fiberboard							
Oriented-strand board (OSB)							
Exterior grade							
Edge swell-resistant OSB							
All other types							
Particle board							
Plywood							
Marine grade							
Preservative-treated, alkaline cop- per quaternary (ACQ) or copper azole (C-A)	-	•		•			

Table 2 Types Uses and Classifications of Materials (continued)

	Uses o	f Building	Cla	sses of	Buildin	g Mater	ials
Types of Building Materials	Mat	terials	Acce	ptable	Una	accepta	ble
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Floors	Walls/ Ceilings	5	4	3	2	
Structural Materials (floor slabs, beams, subfloors, framing, and interior/exterior sheathing)							
Preservative-treated, Borate ²							
Exterior grade/Exposure1 (WBP – weather and boil proof)							
All other types							1
Recycled plastic lumber (RPL)				(t) (t)	30		
Commingled, with 80-90% polyethylene (PE)			•				
Fiber-reinforced, with glass fiber strands							
High-density polyethylene (HDPE), up to 95%							
Wood-filled, with 50% sawdust or wood fiber							
Stone							
Natural or artificial non-absorbent solid or veneer, waterproof grout	-	•	•				
All other applications							
Structural Building Components							
Floor trusses, wood, solid (2x4s), decay-resistant or preservative-treated		•					
Floor trusses, steel ³							
Headers and beams, solid (2x4s) or plywood, exterior grade or preservative-treated							
Headers and beams, OSB, exterior grade or edge-swell resistant		•				•	
Headers and beams, steel ³							
I-joists							
Wall panels, plywood, exterior grade or preservative-treated							
Wall panels, OSB, exterior grade or edge-swell resistant		•				•	
Wall panels, steel ³							

TECHNICAL BULLETIN 2 - AUGUST 2008

Table 2 Types Uses and Classifications of Materials (continued)

			f Building	Cla	sses of	Buildin	g Mater	ial		
	Types of Building Materials	Iviat	terials	Accep	otable	Unacceptable				
	Safety and the second s	Floors	Walls/ Ceilings	5	4	3	2			
	Structural Materials (floor slabs, beams, subfloors, framing, and interior/exterior sheathing)									
	Wood		4.5	A.S.	37 TX					
	Solid, standard, structural (2x4s)									
	Solid, standard, finish/trim				3 9					
	Solid, decay-resistant ⁴		•	•						
_	Solid, preservative-treated, ACQ or C-A				•					
	Solid, preser Gity treated, ampa									
	NOSTRUCTS ON SERVICES and ceiling finishes, insulation, cabi-	DIVIS	ION							
7	nets, doors, partitions, and windows)	e II	LA							
	Apple the ROJECT	2 11	I A					_		
ĺ	With asphaltic adhesives Z	NF	ΔF					H		
Ī	10.00 (10							_		
	Cabinets, built-in the lowest	floo	r					Г		
4							_	H		
	qui redoto be at or a	DOVE	e trie		\blacksquare			H		
e	s <mark>ign Flood Elevati</mark>	on (I	DFF)		-			H		
Ī	Ceramic and porcelain tile	1	- - /					-		
_	With mortar set							Π		
								t		
	With organic adhesives									
	With organic adhesives Concrete tile, with mortar set						_	Г		
	With organic adhesives Concrete tile, with mortar set Corkboard	6507					_			
	Concrete tile, with mortar set	6507		•						
	Concrete tile, with mortar set Corkboard	6507								
	Concrete tile, with mortar set Corkboard Doors	6507					•			
	Concrete tile, with mortar set Corkboard Doors Wood, hollow	6507								
	Concrete tile, with mortar set Corkboard Doors Wood, hollow Wood, lightweight panel construction	6507		-						
	Concrete tile, with mortar set Corkboard Doors Wood, hollow Wood, lightweight panel construction Wood, solid Metal, hollow³	6507			2-2					
	Concrete tile, with mortar set Corkboard Doors Wood, hollow Wood, lightweight panel construction Wood, solid Metal, hollow³ Metal, wood core³	6507								
	Concrete tile, with mortar set Corkboard Doors Wood, hollow Wood, lightweight panel construction Wood, solid Metal, hollow³	6507			2-2					

TECHNICAL BULLETIN 2 - AUGUST 2008

Table 2. Types, Uses, and Classifications of Materials (continued)

		f Building	Cla	sses of	Building	Mater	ials
Types of Building Materials	Mat	erials	Acce	otable	Una	ccepta	ble
	Floors	Walls/ Ceilings	5	4	3	2	1
Finish Materials (floor coverings, wall and ceiling finishes, insulation, cabi- nets, doors, partitions, and windows)						7,11	
Glass (sheets, colored tiles, panels)							
Glass blocks							
Insulation							
Sprayed polyurethane foam (SPUF) or closed-cell plastic foams	•	•					
Inorganic – fiberglass, mineral wool: batts, blankets, or blown	-				•		
All other types (cellulose, cotton, open-cell plastic foams, etc.)						•	
Linoleum							
Magnesite (magnesium oxychloride)							
Mastic felt-base floor covering							
Mastic flooring, formed-in-place							
Metals, non-ferrous (aluminum, copper, or zinc tiles)					•		
Metals		14 ¹ .					
Non-ferrous (aluminum, copper, or zinc tiles)		•			•		
Metals, ferrous ³							
Paint			- 20	777			763
Polyester-epoxy and other oil-based waterproof types							
Latex		-					
Partitions, folding							
Wood							
Metal ³							
Fabric-covered							
Partitions, stationary (free-standing)							
Wood frame							
Metal ³							
Glass, unreinforced							
Glass, reinforced							
Gypsum, solid or block							

TECHNICAL BULLETIN 2 - AUGUST 2008

Table 2. Types, Uses, and Classifications of Materials (continued)

		f Building	Cla	sses of	Buildin	g Mater	ials
Types of Building Materials	Mat	terials	Acce	ptable	Un	accepta	ble
Types of Buruing materials	Floors	Walls/ Ceilings	5	4	3	2	1
Finish Materials (floor coverings, wall and ceiling finishes, insulation, cabi- nets, doors, partitions, and windows)							
Polyurethane, formed-in-place							
Polyvinyl acetate (PVA) emulsion cement							
Rubber							
Moldings and trim with epoxy poly- amide adhesive or latex-hydraulic cement		•			12		
All other applications							
Rubber sheets or tiles ⁵					27 - 7		
With chemical-set adhesives ⁶							
All other applications							
Silicone floor, formed-in-place							
Steel (panels, trim, tile)			7				
With waterproof adhesives ³							
With non-waterproof adhesives							
Terrazo							
Vinyl asbestos tile (semi-flexible vinyl) ⁵							
With asphaltic adhesives		ĺ					
All other applications							
Vinyl sheets or tiles (coated on cork or wood product backings)							
Vinyl sheets or tiles (homogeneous) ⁵							
With chemical-set adhesives ⁶							
All other applications			,				
Wall coverings							
Paper, burlap, cloth types							
Vinyl, plastic, wall paper							
Wood floor coverings		46		10			
Wood (solid)							-
Engineered wood flooring							
Plastic laminate flooring							
Wood composition blocks, laid in cement mortar	•						
Wood composition blocks, dipped and laid in hot pitch or bitumen							

PAGE DESCRIPTION

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THIS SET OF PLANS MUST BE KEPT OF THE JOB AT ALL TIMES It is unlawful to make changes or

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The Stamping of this plan shall not be

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DESIGN/BUILD FIRM

BOSS (MENNIE

LUXURY HOME BUILDERS

100 MAIN ST SUITE 200

SAFETY HARBOR, FL 34695

CGC 1256191

PRIVATE RESIDENCE

PROJECT ADDRESS

34 ADALIA AVE.

TAMPA, FL 33606

DEAN, P.E. ON [07.08.2022] USING A SHA-1 AUTHENTICATION CODE.

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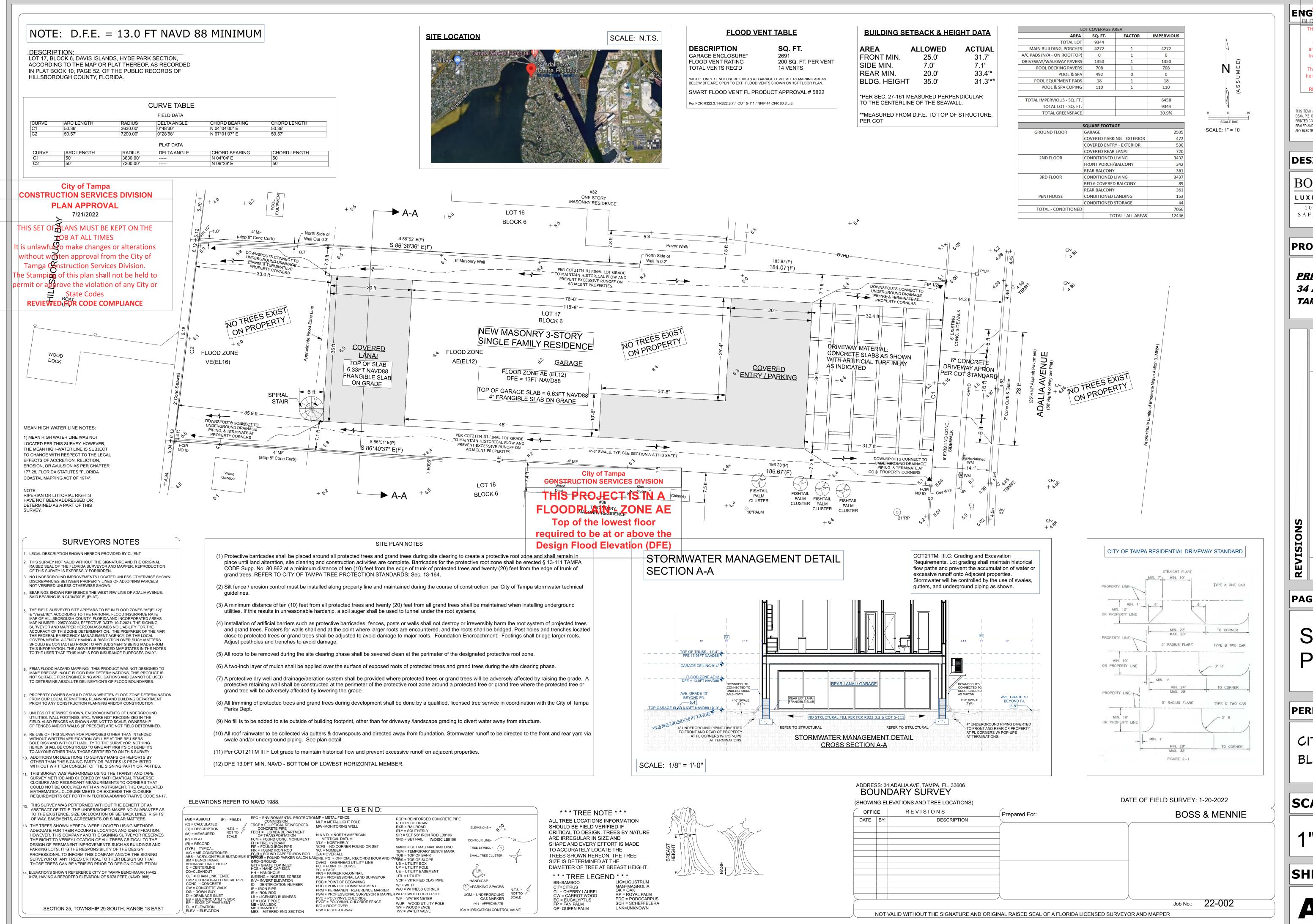
SCALE:

N/A

SHEET:

PLEASE REFER TO CITY OF TAMPA CODE 5-111 TO ENSURE COMPLIANCE WITH ADDITIONAL FLOOD-RESISTANT CONSTRUCTION REQUIREMENTS

NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM



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THIS SET OF PLANS MUST BE KEPT ON
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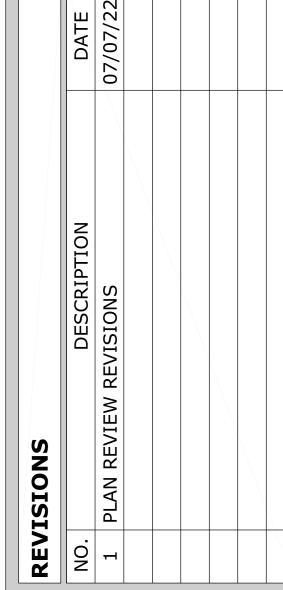
DESIGN/BUILD FIRM

BOSS MENNIE

100 MAIN ST SUITE 200 SAFETY HARBOR, FL 34695 CGC 1256191

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PAGE DESCRIPTION

SITE PLAN

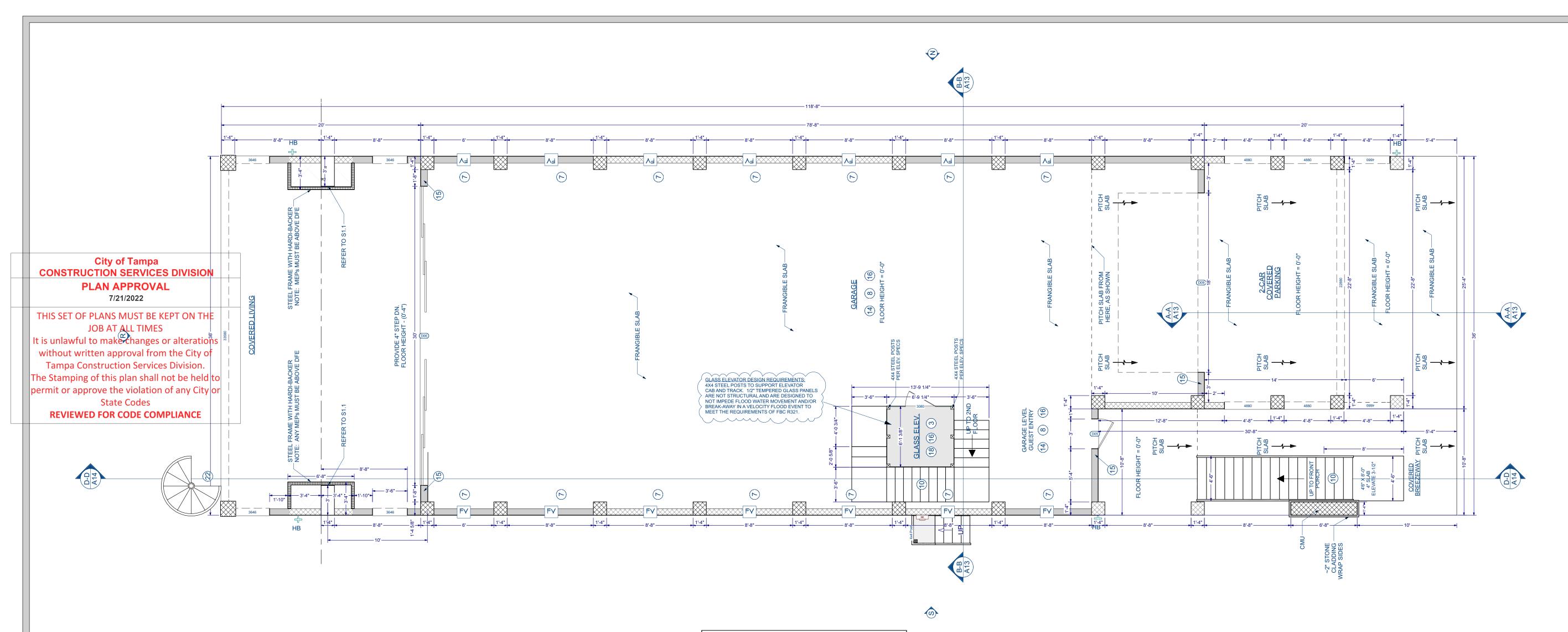
PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

1" = 10'

SHEET:



		WALL SCHEDULE
2D SYMBOL	WALL TYPE	DESCRIPTION
	CBS GARAGE	8" CMU - ~5/8" STUCCO SAND FINSIH BOTH SIDES
	EXT 2X4 METAL FRAME	2X4 STEEL STUD FRAMING 16" O.C. WITH 1/2" CONCRETE BACKER BOARD INSTALLED OVER FRAMING FOR TILE APPLICATION. TILE INSTALLER MUST PROVIDE WATER PROOFING OVER BACKER BOARD PRIOR TO TILE INSTALLATION.
	CBS	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO EXTERIOR SIDE. 1X2 FURRING 16" O.C. APPLIED TO INTERIOR SIDE WITH FI-FOIL INSULATION, COVERED IN 1/2" SHEETROCK WITH LEVEL 5 DRYWALL FINISH.
	CBS GARAGE	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANNET CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.
	CBS PARAPET WALL	8"CMU WALL FULLY GROUTED" 5/8" STUCCO SAND FINSID BOTH SIDES: "ATTACH 2X8/PT NAILER PLATE TO TOP OF CMU" WALL & FINISH W/ ALUM. CAP W/ 2" MIN. DOWN LEG + DRIP FLARE. PAINTED FINISH TO MATCH WALL COLOR. FASTEN CAP VIA STRUCTURAL CONSTRUCTION ADHESIVE + COLOR MATCHED NEOPRENE WASHER FASTENERS ON SIDE LEGS
	GLASS SHOWER	3/8" FRAMELESS SHOWER GLASS INSTALLED OVER SHOWER CURB, BUILT FROM (2) 2X4 PT, WATERPROOFED BY TILE INSTALLER & WRAPPED IN TILE W/ SCHLUTER TRIM. PITCH CURB TOWARDS SHOWER INTERIOR.
	STAINLESS STEEL TUBE/ CABLE RAILING SYSTEM	STAINLESS STEEL TUBE RAILINGS WITH POWDER COATED ALUMINUM STANCHIONS AND RAILS. ENSURE ADEQUATE FASTENER DEPTH FOR ALL STANCHION CONNECTIONS.
	INTERIOR-4	2X4 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.
	INTERIOR FRAME WALL W/ LEDGESTONE CLADDING	2X4 FRAMED WALL WITH STUDS 16" O.C., COVERED IN 1/2" CONCRETE BACKERBOARD WITH LEDGESTONE FINISH. COORDINATE ALL M.E.P.S 100% PRIOR TO APPLYING LEDGESTONE.
	2X WALL FOR POCKET DOOR	2X4 WALL WITH STUDS SPACED 16" O.C., STUDS TURNED FLAT TO COVER EACH SIDE OF POCKET DOOR
	2X6 EXTERIOR FRAMED WALL WITH STUCCO FINISH	2X6 EXT. FRAMED WALL WITH STUDS SPACED 16" O.C., COVERED ON THE EXTERIOR WITH 1/2" PLY SHEATHING, HOUSE WRAP, ASPHALT BACKED PAPER (WIRE MESH) AND APPROX. 7/8" STUCCO WITH SAND FINISH. FINISH INTERIOR SIDE WITH 3" OPEN CELL FOAM AND 1/2" DRYWALL W/ LELVEL 5 FINISH.
///////	INTERIOR-6	2X6 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.
	STUCCO CLAD FRAMED AREA	FRAMED AREA WITH 1/2" SHEATHING + HOUSE WRAP + ASPHALT BACKED PAPER + ~3/4" STUCCO + PAINT
	CBS BREAK-AWAY	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANNET CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.

						CC	ONSTR	City CUCTION	of Tam SERV		S DIVIS	ION		
					WINDO	DW S	HEDUZE	PRO	JEC	T	IS IN	ΙA		
ID	LOCATION	QTY	SIZE	M/C				DESCRIPTION	NINI	BRAN	DNE	FL PR	OD. DVAL#	HDR H
W01	2ND FLOOR STAIRWELL	2	6070	75 1	/2"X87 1	/2		MULLED UNI		KOLE	PITE	22242	OVAL # / 22235	136"
W02	3RD FLOOR STAIRWELL	2	6070	75 °	/2"X87 1	/2"		MULLED UNI		KOLE	BE		/ 22235	152"
W03	3RD FLOOR STAIRWELL	2	6070	75 ′	/2"X87 1	/2"	Ton	MINITEDION	MO	KCL	f floo	22242	/ 22235	228"
W04	BATH 2	1	2020FX	27 1	/2"X27 1	/2"	1 Ob	FIXED GLAS:	S	KOLE	E	22242	/ 22235	96"
W05	BATH 5	1	2020FX		/2"X27_1			FIXED GLAS		KOLE			/ 22235	96"
W06	BATH 6	3						FIXED GLAS		KOL	EDOA6	22 24 2	22235	96"
W07	BEDROOM 1 / OFFICE				/2"X27 1			FIXED GLASS		KOLE			/ 22235	120"
W08	BEDROOM 2 / OFFICE	3	2020FX	27 1	/2"X27 1 /2"X75 1	25	tian	EIXED CLAS		KOL			7 22235	120"
W09	BEDROOM 5	1						SINGLE CAS					+2 2235	96"
W10	BEDROOM 5	1			/2"X75 1		YES	SINGLE CAS					/ 22235	96"
W11	GREAT RM / LOUNGE / DINING RM	6			/2"X99 1			FIXED GLAS:		KOLE	<u> </u>		/ 22235	120"
W12	JR. MASTER BATH	1			1/2"X27 1			FIXED GLASS		KOLE			/ 22235	96"
W13	JR. MASTER BEDROOM	1			1/2"X63 1		YES	SINGLE CAS					/ 22235	96"
W14	JR. MASTER BEDROOM	1			1/2"X63 1		YES	SINGLE CAS		_			/ 22235	96"
W15	LAUNDRY	1			1/2"X53 1			FIXED GLAS		KOLE			/ 22235	96"
W16	MASTER BEDROOM	2	3056FX	39 1	1/2"X69 1	/2"		FIXED GLASS	2	KOLE	₹=	122242	/ 22235	96"
	MASTER DEN	1	3056FX	39 1	1/2"X69 1	/2"		FIXED GLAS	S	KOLE	BE	22242	/ 22235	96"
	MASTER DEN PENTHOUSE	1	3056FX	39 1		/2"			S		BE	22242		
W18	PENTHOUSE	1 4	3056FX 6070	39 ´	1/2"X69 1 1/2"X87 1 DOO	/2" /2" R SCI	HEDULE	FIXED GLAS	S	KOLE	BE BE	22242 22242	/ 22235	96" 96"
W18 NUMB	PENTHOUSE ER LOCATION	1 4 SIZE	3056FX 6070	39 ² 75 ² M/	DOO	/2" /2" R SCI DES	HEDULE CRIPTION	FIXED GLAS	S	KOLE	MANUFACT	22242 22242 TURER	/ 22235 / 22235 FL PR APPR	96" 96" OD. OVAL #
W18 NUMB D01	PENTHOUSE ER LOCATION BEDROOM 1 SGD	1 4 SIZE 8090	3056FX 6070	39 1 75 1 M/0 98	DOO "X111"	R SCI DES	HEDULE CRIPTION SLIDER-G	FIXED GLAS: MULLED UNI	S	KOLE	MANUFACT	22242 22242 TURER	/ 22235 / 22235 FL PR APPR 21179	96" 96" OD. OVAL #
W18 NUMB D01 D02	ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD	SIZE 8090 8090	3056FX 6070 R EX L EX	39 ² 75 ² M/ ⁴ 98 98	DOO "X111" "X111"	R SCH DES EXT.	HEDULE CRIPTION SLIDER-G	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL	S	KOLE	MANUFACT EURO WAL	22242 22242 TURER L	/ 22235 / 22235 FL PR APPR 21179 21179	96" 96" OD. OVAL #
W18 NUMB D01 D02 D03	PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD	SIZE 8090 8090 8080	3056FX 6070 R EX L EX L EX	39 7 75 7 M/ 98 98 98	DOO! "X111" "X99"	R SCH DES EXT. EXT.	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G	FIXED GLAS: MULLED UNI	S	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL	22242 22242 TURER L L	22235 22235 FL PR APPR 21179 21179 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04	ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR	SIZE 8090 8090 8080 6010	3056FX 6070 R EX L EX L EX L EX 0 L EX	39 7 75 7 M/v 98 98 98 76	DOO! "X111" "X99" "X124"	R SCH DES EXT. EXT. PIVC	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G DT DOOR	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL	S	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL	22242 22242 TURER L L L	FL PR APPR 21179 21179 21179 22410	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05	ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR	SIZE 8090 8090 8080 6010 3080	3056FX 6070 R EX L EX L EX L EX O L EX R IN	39 7 75 7 M/4 98 98 98 98 76 38	DOO! DOO! "X111" "X111" "X99" "X124" "X98 1/2"	R SCH DES EXT. EXT. EXT. PIVC	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G OT DOOR GED-GLASS	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL S PANEL	S T	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL EURO WAL	22242 22242 TURER L L L L EERIES	FL PR APPR 21179 21179 21179 22410 22551	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06	ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD	SIZE 8090 8090 8080 6010 3080 3008	3056FX 6070 R EX L EX L EX L EX D L EX R IN 0 L/R EX	39 75 75 75 98 98 98 36 36 36	DOO! DOO! "X111" "X111" "X99" "X124" "X98 1/2" "X99"	R SCH DES EXT. EXT. PIVO HINO	HEDULE CRIPTION SLIDER-G SLIDER-G OT DOOR GED-GLAS: 3+3-PANE	FIXED GLASS MULLED UNI GLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL	S T	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL	22242 22242 22242 CURER L L L L SERIES L	FL PR APPR 21179 21179 21179 22410 22551 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07	PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD	SIZE 8090 8090 8080 6010 3080 3008	R EX L EX L EX L EX O L EX R IN 0 L/R EX 110 L/R EX	39 75 75 75 75 75 75 75 75 75 75 75 75 75	DOO "X111" "X111" "X99" "X124" "X98 1/2" "X98 1/2" "X98 1/2" "X98 1/2"	R SCH DES EXT. EXT. PIVC HINC EXT.	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G SLIDER-G SLIDER-G ST DOOR 3+3-PANE 3+3-PANE	FIXED GLASS MULLED UNI BLASS PANEL BLASS P	ASS PANEL	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL EURO WAL	22242 22242 22242 CURER L L L SERIES L	FL PR APPR 21179 21179 21179 22179 22179 22179 22179 22179 22179 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07 D08	PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD	SIZE 8090 8090 8080 6010 3080 3008 3001 3009	R EX L EX L EX L EX O L EX R IN 0 L/R EX 110 L/R EX	39 75 75 75 75 75 75 75 75 75 75 75 75 75	DOO O "X111" "X99" "X124" "X99" "X144" "22" "X945" "X145" "2" "X121"	R SCH DES EXT. EXT. PIVC HINC EXT. EXT.	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G OT DOOR GED-GLAS: 3+3-PANE 3+3-PANE 3+3-PANE	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL S PANEL EL SLIDER-GL EL SLIDER-GL EL SLIDER-GL EL SLIDER-GL	ASS PANEL ASS PANEL ASS PANEL	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL EURO WAL	22242 22242 22242 CURER L L L SERIES L	FL PR APPR 21179 21179 21179 22410 22551 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07 D08 D09	ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD OVERHEAD GARAGE DOOR	SIZE 8090 8090 8080 6010 3080 3008 3008 3009 1808	3056FX 6070 R EX L EX L EX 0 L EX R IN 0 L/R EX 110 L/R EX 10 L/R EX	M/v 98 98 98 98 36 36 36 36 21	DOO O "X111" "X99" "X114" "X99" "X124" "X98 1/2" "X98" "X124" "X98 1/2" "X98" "X124" "X98 1/2" "X98" "X98"	R SCH DES EXT. EXT. PIVC HINC EXT. EXT. FRO	HEDULE CRIPTION SLIDER-G SLIDER-G OT DOOR GED-GLAS: 3+3-PANE 3+3-PANE 3+3-PANE STED GLA	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL EL SLIDER-GL L SLIDER-GL L SLIDER-GL SS PANELS -	ASS PANEL ASS PANEL ASS PANEL AVANTE SE	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL EURO WAL EURO WAL CLOPAY	TURER L L L L EERIES L L	FL PR APPR 21179 21179 22410 22551 21179 21179 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07 D08	PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD	SIZE 8090 8090 8080 6010 3080 3008 3008 3009 1808	R EX L EX L EX L EX O L EX R IN 0 L/R EX 110 L/R EX	M/v 98 98 98 98 36 36 36 36 21	DOO O "X111" "X99" "X124" "X99" "X144" "22" "X945" "X145" "2" "X121"	R SCH DES EXT. EXT. PIVC HINC EXT. EXT. FRO	HEDULE CRIPTION SLIDER-G SLIDER-G OT DOOR GED-GLAS: 3+3-PANE 3+3-PANE 3+3-PANE STED GLA	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL S PANEL EL SLIDER-GL EL SLIDER-GL EL SLIDER-GL EL SLIDER-GL	ASS PANEL ASS PANEL ASS PANEL AVANTE SE	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL EURO WAL	TURER L L L L EERIES L L	FL PR APPR 21179 21179 21179 22179 22179 22179 22179 22179 22179 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07 D08 D09 D10	PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD OVERHEAD GARAGE DOOR PENTHOUSE HINGE DOOR	SIZE 8090 8090 8080 6010 3080 3008 3001 3009 1808 3070	R EX L EX L EX L EX O L EX R IN 0 L/R EX 10 L/R EX 10 L/R EX 0 R EX	75 75 75 75 76 98 98 98 98 36 36 36 36 31 38	DOO! DOO! "X111" "X111" "X99" "X124" "X98 1/2" "X124" "X98 1/2" "X187" ER NICH	R SCH DES EXT. EXT. PIVC HINC EXT. EXT. EXT.	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G T DOOR GED-GLAS: 3+3-PANE 3+3-PANE STED GLA HINGED-G	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL EL SLIDER-GL L SLIDER-GL L SLIDER-GL SS PANELS -	ASS PANEL ASS PANEL ASS PANEL AVANTE SE	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL EURO WAL EURO WAL CLOPAY	TURER L L L L EERIES L L	FL PR APPR 21179 21179 22410 22551 21179 21179 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07 D08 D09 D10	ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD OVERHEAD GARAGE DOOR PENTHOUSE HINGE DOOR	SIZE 8090 8090 8080 6010 3080 3008 3008 3001 3009 1808 3070	R EX L EX L EX L EX O L EX R IN 0 L/R EX 10 L/R EX 10 L/R EX TOP	M// 988 988 98 36. 36. 36. 36. 21/ 38	I/2"X69 1. DOO O "X111" "X111" "X99" "X124" "X98 1/2" "X124" "X98 7/2" "X124" "X98 7/2" "X127" "X127" "X127" "X127" "X127" "X127" "X127" "X127" "X127"	R SCH DES EXT. EXT. PIVC HINC EXT. EXT. EXT.	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G T DOOR GED-GLAS: 3+3-PANE 3+3-PANE STED GLA HINGED-G	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL EL SLIDER-GL L SLIDER-GL L SLIDER-GL SS PANELS -	ASS PANEL ASS PANEL ASS PANEL AVANTE SE	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL EURO WAL EURO WAL CLOPAY	TURER L L L L EERIES L L	FL PR APPR 21179 21179 22410 22551 21179 21179 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07 D08 D09 D10	PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD OVERHEAD GARAGE DOOR PENTHOUSE HINGE DOOR	SIZE 8090 8090 8080 6010 3080 3008 3008 3001 3009 1808 3070	R EX L EX L EX L EX O L EX R IN 0 L/R EX 10 L/R EX 10 L/R EX TOP	M// 988 988 988 366 366 366 366 386 386 386 386 386 3	I/2"X69 1. DOO O "X111" "X111" "X124" "X99" "X124" "X98 1/2" "X98 1/2" "X98 7/2" "X98 7/2" "X98 7/2" "X98 7/2" "X98 7/2" "X99" "X124" "X98 7/2" "X98 7/2" "X98 7/2" "X98 7/2" "X98 7/2"	R SCH DES EXT. EXT. PIVC HINC EXT. EXT. EXT.	HEDULE CRIPTION SLIDER-G SLIDER-G SLIDER-G T DOOR GED-GLAS: 3+3-PANE 3+3-PANE STED GLA HINGED-G	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL EL SLIDER-GL L SLIDER-GL L SLIDER-GL SS PANELS -	ASS PANEL ASS PANEL ASS PANEL AVANTE SE	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL ES-EL300 S EURO WAL EURO WAL EURO WAL CLOPAY	TURER L L L L EERIES L L	FL PR APPR 21179 21179 22410 22551 21179 21179 21179	96" 96" OD. OVAL #
NUMB D01 D02 D03 D04 D05 D06 D07 D08 D09 D10	ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD OVERHEAD GARAGE DOOR PENTHOUSE HINGE DOOR ER QTY FLOOR DESCRIPTION R// 1 2 WALL NICHE 14 3 3 WALL NICHE 14	SIZE 8090 8090 8080 6010 3080 3008 3009 1808 3070	R EX L EX L EX L EX O L EX R IN 0 L/R EX 10 L/R EX 10 L/R EX 10 L/R EX TOP	M// 988 988 98 36. 36. 36. 36. 21/ 38	DOO! DOO! "X111" "X99" "X124" "X981/" "X981/" "X981/" "X98" "X124" "X98" "X124" "X98" "X887" ER NICH OTTOM 5" 5" 5"	R SCI DES EXT. EXT. EXT. FRO EXT. EXT. EXT. EXT. EXT.	HEDULE CRIPTION SLIDER-G HS-GLAS 3+3-PANE 3+3-PANE 3+3-PANE STED GLA HINGED-G	FIXED GLASS MULLED UNI BLASS PANEL BLASS PANEL BLASS PANEL EL SLIDER-GL L SLIDER-GL L SLIDER-GL SS PANELS -	ASS PANEL ASS PANEL ASS PANEL ASS PANEL AVANTE SE	KOLE	MANUFACT EURO WAL EURO WAL EURO WAL EURO WAL EURO WAL EURO WAL EURO WAL CLOPAY ES-EL300 S	TURER L L L L L L L L L L L SERIES	FL PR APPR 21179 21179 22410 22551 21179 221179 221179 21179 21179 21179	96" 96" OD. OVAL #

	NOTE SCHEDULE
D	ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
)	ROOM HAS NO CLOSET, BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM, AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
)	ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE, NOT ATTACHED TO BREAK-AWAY WALLS, NOR ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION
	CAST IN PLACE CONCRETE FLOOR STRUCTURE, REFER TO STRUCTURAL PLAN SET FOR DETAILS.
	CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
	CMU WALL COLUMN WITH TILE/STONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
	FLOOD VENT: SMARTVENT FL PA #5822.3 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
	GARAGE CEILINGS UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8", "TYPE X" DRYWALL FINISH FOR FIRE RATING.
	HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
	MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
	PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
	PER FBC R302.5.1 – DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
	PLANTER, STUCCO SAND FINISH
	PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
	REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
	REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
	SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
	SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1/CSA B44. PER FEMA TB-4, 2019, ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
	STUCCO SAND FINISH
	TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
	STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
	6'-0" DIA. ALUMINUM SPIRAL STAIRCASE, POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
	INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 80", WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

THIS SET OF PLANS MUST BE KEPT ON
THE JOB AT ALL TIMES
It is unlawful to make changes or
alterations without written approval
from the City of Tampa Construction
Services Division.
The Stamping of this plan shall not be
held to permit or approve the violation
of any City or State Codes
REVIEWED FOR CODE COMPLIANCE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P.
DEAN, P.E. ON [07.08.2022] USING A SHA-1 AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM

BOSS MENNIE

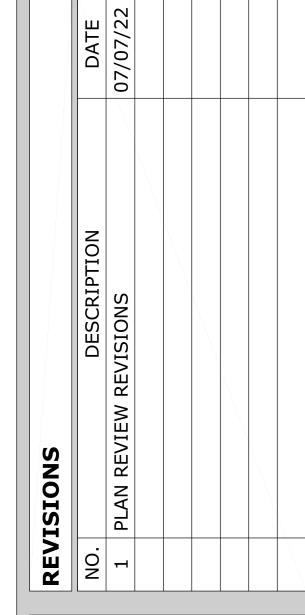
LUXURY HOME BUILDERS

100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695

PROJECT ADDRESS

CGC 1256191

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

1ST FLOOR PLAN

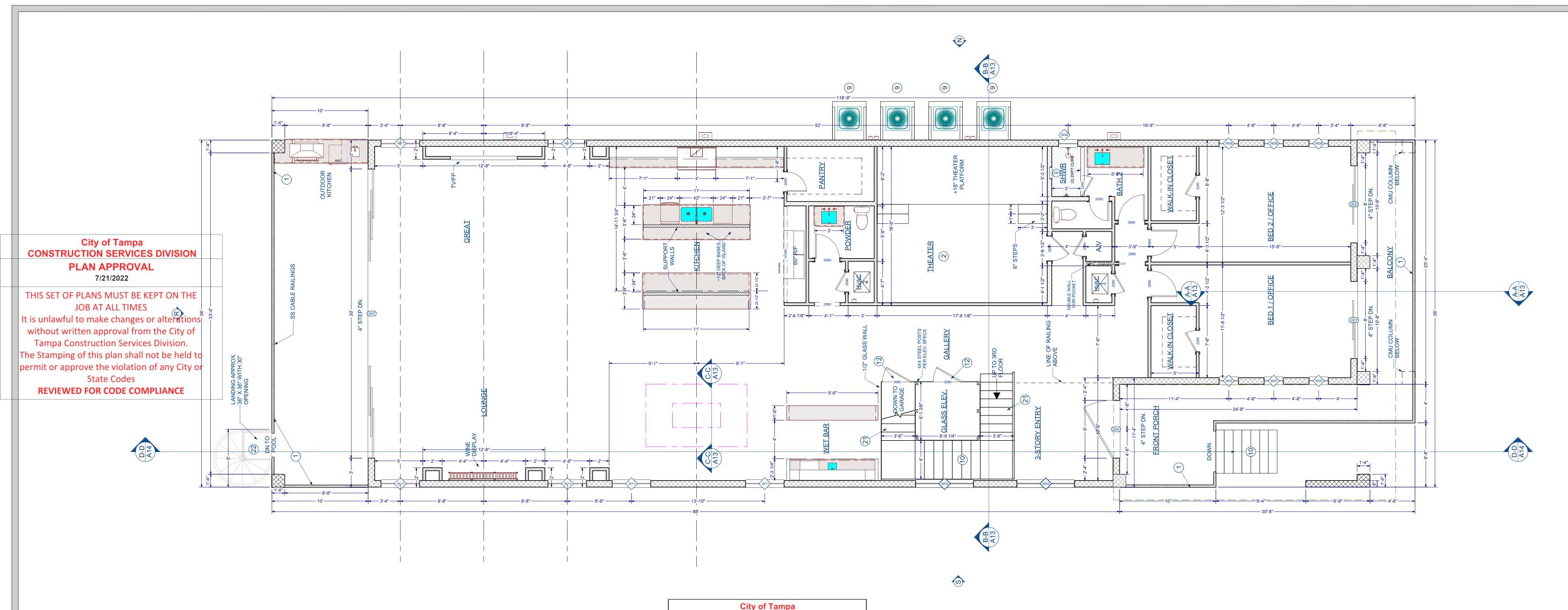
PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

3/16"

SHEET:



		WALL SCHEDULE
2D SYMBOL	WALL TYPE	DESCRIPTION
	CBS GARAGE	8" CMU - ~5/8" STUCCO SAND FINSIH BOTH SIDES
	EXT 2X4 METAL FRAME	2X4 STEEL STUD FRAMING 16" O.C. WITH 1/2" CONCRETE BACKER BOARD INSTALLED OVER FRAMING FOR TILE APPLICATION. TILE INSTALLER MUST PROVIDE WATER PROOFING OVER BACKER BOARD PRIOR TO TILE INSTALLATION.
	CBS	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO EXTERIOR SIDE. 1X2 FURRING 16" O.C. APPLIED TO INTERIOR SIDE WITH FI-FOIL INSULATION, COVERED IN 1/2" SHEETROCK WITH LEVEL 5 DRYWALL FINISH.
	CBS GARAGE	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANNET CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.
	CBS PARAPET WALL	-8"-CMU-WALL/FULLY-GROUTED">-5/8"-STUCCO-SAND FINSIH/BOTH SIDES: "ATTACH"2X8/PP"NAILER RLATE TO TOP OF CMU'' WALL & FINISH W/ ALUM. CAP W/ 2" MIN. DOWN LEG + DRIP FLARE. PAINTED FINISH TO MATCH WALL COLOR. FASTEN CAP VIA STRUCTURAL CONSTRUCTION ADHESIVE + COLOR MATCHED NEOPRENE WASHER FASTENERS ON SIDE LEGS
	GLASS SHOWER	3/8" FRAMELESS SHOWER GLASS INSTALLED OVER SHOWER CURB, BUILT FROM (2) 2X4 PT, WATERPROOFED BY TILE INSTALLER & WRAPPED IN TILE W/ SCHLUTER TRIM. PITCH CURB TOWARDS SHOWER INTERIOR.
	STAINLESS STEEL TUBE/ CABLE RAILING SYSTEM	STAINLESS STEEL TUBE RAILINGS WITH POWDER COATED ALUMINUM STANCHIONS AND RAILS. ENSURE ADEQUATE FASTENER DEPTH FOR ALL STANCHION CONNECTIONS.
	INTERIOR-4	2X4 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.
	INTERIOR FRAME WALL W/ LEDGESTONE CLADDING	2X4 FRAMED WALL WITH STUDS 16" O.C., COVERED IN 1/2" CONCRETE BACKERBOARD WITH LEDGESTONE FINISH. COORDINATE ALL M.E.P.S 100% PRIOR TO APPLYING LEDGESTONE.
	2X WALL FOR POCKET DOOR	2X4 WALL WITH STUDS SPACED 16" O.C., STUDS TURNED FLAT TO COVER EACH SIDE OF POCKET DOOR
	2X6 EXTERIOR FRAMED WALL WITH STUCCO FINISH	2X6 EXT. FRAMED WALL WITH STUDS SPACED 16" O.C., COVERED ON THE EXTERIOR WITH 1/2" PLY SHEATHING, HOUSE WRAP, ASPHALT BACKED PAPER (WIRE MESH) AND APPROX. 7/8" STUCCO WITH SAND FINISH. FINISH INTERIOR SIDE WITH 3" OPEN CELL FOAM AND 1/2" DRYWALL W/ LELVEL 5 FINISH.
///////	INTERIOR-6	2X6 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.
	STUCCO CLAD FRAMED AREA	FRAMED AREA WITH 1/2" SHEATHING + HOUSE WRAP + ASPHALT BACKED PAPER + ~3/4" STUCCO + PAINT
	CBS BREAK-AWAY	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANNET CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.

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CONSTRUCTION SERVICES DIVISION TILLS DE CONSTRUCTION SERVICES DIVISION DE CONSTRUCTION D										ISIUN		-	
					WINDO	OW S	CHEDULE	PROJE	CI	151	N A		
D	LOCATION	QTY	SIZE	M/O			FORFO	PESORIPTION	BRA	[®] NI	FL PRO)D. VAI #	HDR
N01	2ND FLOOR STAIRWELL	2	6070	75 1	2"X87	/2"	UU	MULLED UNIT	KOLE		22242		136"
	3RD FLOOR STAIRWELL	2	6070		2"X87 1			MULLED UNIT	KOLB		22242 /		152"
N03	3RD FLOOR STAIRWELL	2	6070	75 1	2"X87 1	/2"	Ton	MUNIEU UNIO	VA KOLE	et flo	22242 /	22235	228"
	BATH 2	1	2020FX		2"X27 1		1 0 h	FIXED GLASS	KOLE		22242 /		96"
N05	BATH 5	1	2020FX	27 1	2"X27 1	/2"		FIXED GLASS	KOLB		22242/	22235	96"
N06	BATH 6	3	2020FX	27 1	2"X27	// = 0	luire	EXEDICLASSE C	R LB	apo	V 22242 /	122 35	96"
W07	BEDROOM 1 / OFFICE	3	2020FX		2"X27 1			FIXED GLASS	KOLB		22242 /	22235	120"
80W	BEDROOM 2 / OFFICE	3	2020FX		2"X27	/2"	eian	FIXED GLASS SINGLE CASEMENT	KOLE	Fion	22242	22235	120"
	BEDROOM 5	1	3060SC		2"X75		<u>sign</u>		HZ KOLE	FIOII	2 2242 /	22 235	96"
	BEDROOM 5	1	3060SC	39 1	2"X75 1	/2"	YES	SINGLE CASEMENT-I			22242 /		96"
N11	GREAT RM / LOUNGE / DINING RM	6	4080FX	51 1	2"X99 1	/2"		FIXED GLASS	KOLB	E	22242 /	22235	120"
	JR. MASTER BATH	1	2020FX	27 1	2"X27 1	/2"		FIXED GLASS	KOLB	E	22242 /	22235	96"
N13	JR. MASTER BEDROOM	1	2650SC	33 1	'2"X63 1	/2"	YES	SINGLE CASEMENT-I	IL KOLB	E	22242 /	22235	96"
N14	JR. MASTER BEDROOM	1			'2"X63 1		YES	SINGLE CASEMENT-I	IR KOLB	E	22242 /		96"
	LAUNDRY	1	2642FX	33 1	2"X53 1	/2"		FIXED GLASS	KOLB	E	22242 /	22235	96"
N15	LAUNDICI		201217		2 /\UU I								
	MASTER BEDROOM	2	3056FX		2"X69 1			FIXED GLASS	KOLB	E	22242 /	22235	96"
W16				39 1		/2"							96" 96"
N16 N17	MASTER BEDROOM	2	3056FX	39 1/ 39 1/	2"X69 1	/2" /2"		FIXED GLASS	KOLB	E	22242 /		96"
W16 W17 W18	MASTER BEDROOM MASTER DEN PENTHOUSE	2 1 4	3056FX 3056FX 6070	39 1/ 39 1/ 75 1/	2"X69 1 2"X69 1 2"X87 1	1/2" 1/2" 1/2" 0R SCI	HEDULE	FIXED GLASS FIXED GLASS	KOLB KOLB	E E	22242 / 22242 /	22235	96" 96"
W16 W17 W18	MASTER BEDROOM MASTER DEN	2	3056FX 3056FX 6070	39 1/ 39 1/	2"X69 1 2"X69 1 2"X87 1	1/2" 1/2" 1/2" 0R SCI	HEDULE CRIPTION	FIXED GLASS FIXED GLASS	KOLB KOLB	E E	22242 /	22235	96" 96" OD.
W16 W17 W18 WUMBE	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD	2 1 1 4 SIZE	3056FX 3056FX 6070	39 1/ 39 1/ 75 1/ M/C	2"X69 1 2"X69 1 2"X87 1 DOO	DES	CRIPTION . SLIDER-G	FIXED GLASS FIXED GLASS MULLED UNIT	KOLB KOLB	MANUFA	22242 / 22242 / .CTURER ALL	FL PRO APPRO 21179	96" 96" OD.
W16 W17 W18 NUMBE	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD	2 1 1 4 SIZE 8090 8090	3056FX 3056FX 6070 6070	39 1/ 39 1/ 75 1/ M/C 98"2 98"2	2"X69 1 2"X69 1 2"X87 1 DOO) X111" X111"	/2" /2" /2" /2" DES EXT.	CRIPTION SLIDER-G	FIXED GLASS FIXED GLASS MULLED UNIT SLASS PANEL SLASS PANEL	KOLB KOLB	MANUFA EURO W.	22242 / 22242 / .CTURER ALL ALL	FL PRO APPRO 21179 21179	96" 96" OD.
W16 W17 W18 NUMBE D01 D02 D03	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD	2 1 1 4 SIZE 8090 8090 8080	3056FX 3056FX 6070 6070	39 1/ 39 1/ 75 1/ M/C 98"/ 98"/ 98"/	2"X69 1 2"X69 1 2"X87 1 DOO) X111" X111" X99"	DR SCI DES EXT. EXT.	CRIPTION . SLIDER-G . SLIDER-G . SLIDER-G	FIXED GLASS FIXED GLASS MULLED UNIT	KOLB KOLB	MANUFA EURO W. EURO W. EURO W.	22242 / 22242 / CTURER ALL ALL	FL PRO APPRO 21179 21179 21179	96" 96" OD.
N16 N17 N18 NUMBE 001 002 003	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 6 SGD BEDROOM 6 SGD FRONT DOOR	2 1 1 4 SIZE 8090 8090 8080 6010	3056FX 3056FX 6070 0 R EX 0 L EX 0 L EX	39 1/ 39 1/ 75 1/ M/C 98"2 98"2 98"2 76"2	DOO X111" X124"	DES EXT. EXT. PIVO	CRIPTION . SLIDER-G . SLIDER-G OT DOOR	FIXED GLASS FIXED GLASS MULLED UNIT SLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL	KOLB KOLB	MANUFA EURO W. EURO W. EURO W. EURO W.	22242 / 22242 / CTURER ALL ALL ALL ALL	FL PROAPPROAPPROAPPROAPPROAPPROAPPROAPPROA	96" 96" OD. OVAL
W16 W17 W18 NUMBE D01 D02 D03 D04 D05	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR	2 1 1 4 SIZE 8090 8090 8080 6010 3080	3056FX 3056FX 6070 0 R EX 0 L EX 0 L EX 0 L EX	39 1/ 39 1/ 75 1/ M/C 98"2 98"2 76"2 38"2	2"X69 1 2"X69 1 2"X87 1 2"X87 1 DOO 0 X1111" X111" X99" X124" X98 1/2"	DES EXT. EXT. PIVO	CRIPTION . SLIDER-G . SLIDER-G . SLIDER-G OT DOOR GED-GLAS	FIXED GLASS FIXED GLASS MULLED UNIT BLASS PANEL BLASS PANEL BLASS PANEL BLASS PANEL BLASS PANEL	KOLB KOLB	MANUFA EURO W. EURO W. EURO W. EURO W.	22242 / 22242 / CTURER ALL ALL ALL ALL O SERIES	FL PR(APPR(21179 21179 21179 22410 22551.	96" 96" OD. OVAL
N16 N17 N18 NUMBE 001 002 003 004 005	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD	SIZE 8090 8090 8080 6010 3080 3008	3056FX 3056FX 6070 0 R EX 0 L EX 0 L EX 0 D L EX 0 D R IN 0 R IN 0 D R IN 0 D R IN	39 1/ 39 1/ 75 1/ 75 1/ M/C 98"/ 98"/ 98"/ 38"/ 362	2"X69 1 2"X69 1 2"X87 1 DOO 0 X1111" X99" X124" X98 1/2" "X99"	DES EXT. EXT. PIVC HING EXT.	CRIPTION . SLIDER-C . SLIDER-C . SLIDER-C T DOOR GED-GLAS . 3+3-PANE	FIXED GLASS FIXED GLASS MULLED UNIT BLASS PANEL	KOLB KOLB KOLB	MANUFA EURO W. EURO W. EURO W. EURO W. EURO W. ES-EL300	22242 / 22242 / CTURER ALL ALL ALL ALL O SERIES ALL	Z2235 Z2235 Z2235 Z2235 Z1179 Z1179 Z1179 Z2410 Z2551. Z1179	96" 96" OD. OVAL
W16 W17 W18 NUMBE D01 D02 D03 D04 D05 D06 D07	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD	SIZE 8090 8090 8080 6010 3080 3008	3056FX 3056FX 6070 0 R EX 0 L EX 0 L EX 0 L EX 0 R IN 30 L/R EX 110 L/R EX	39 1/ 39 1/ 75 1/ 75 1/ M/C 98"; 98"; 76"; 38"; 362 (362	2"X69 1 2"X69 1 2"X87 1 DOO 0 X111" X111" X111" X99" X124" X98 1/2" "X99" "X145"	DES SCHENT	CRIPTION . SLIDER-G . SLIDER-G . SLIDER-G OT DOOR GED-GLAS . 3+3-PANE . 3+3-PANE	FIXED GLASS FIXED GLASS MULLED UNIT GLASS PANEL	KOLB KOLB KOLB	MANUFA EURO W. EURO W. EURO W. EURO W. EURO W. EURO W. EURO W.	22242 / 22242 / 22242 / ALL ALL ALL O SERIES ALL ALL	22235 22235 FL PR(APPR(21179) 21179 21179 221179 22410 22551. 21179 21179	96" 96" OD. OVAL
W16 W17 W18 NUMBE D01 D02 D03 D03 D04 D05 D06 D07 D08	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD MASTER SUITE SGD	SIZE 8090 8090 8080 6010 3080 3001 3009	3056FX 3056FX 6070 0 R EX 0 L EX 0 L EX 0 D L EX	39 1/39 1/75 1/75 1/75 1/75 1/75 1/75 1/75 1/75	DOO) X1111" X199" X114" X99" X1287 X12887 X	DES SCIENT DES PIVO HING EXT. EXT. EXT. EXT. EXT. EXT. EXT. EXT.	CRIPTION SLIDER-G SLIDER-G SLIDER-G OT DOOR GED-GLAS 3+3-PANE 3+3-PANE 3+3-PANE	FIXED GLASS FIXED GLASS MULLED UNIT GLASS PANEL	KOLB KOLB KOLB	MANUFA EURO W. EURO W. EURO W. EURO W. EURO W. EURO W. EURO W.	22242 / 22242 / 22242 / ALL ALL ALL O SERIES ALL ALL	Z2235 Z2235 Z2235 Z2235 Z1179 Z1179 Z1179 Z2410 Z2551. Z1179	96" 96" OD. OVAL
W16 W17 W18	MASTER BEDROOM MASTER DEN PENTHOUSE ER LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD	SIZE 8090 8090 8080 6010 3008 3008 3008 3009 1808	3056FX 3056FX 6070 0 R EX 0 L EX 0 L EX 0 D L EX	39 1/39 1/75 1/75 1/75 1/75 1/75 1/75 1/75 1/75	2"X69 1 2"X69 1 2"X87 1 DOO 0 X111" X111" X111" X99" X124" X98 1/2" "X99" "X145"	DES EXT. EXT. EXT. EXT. EXT. EXT. EXT. EXT.	CRIPTION SLIDER-G SLIDER-G SLIDER-G SED-GLAS 3+3-PANE 3+3-PANE 3+3-PANE 3+3-PANE	FIXED GLASS FIXED GLASS MULLED UNIT GLASS PANEL	KOLB KOLB KOLB	MANUFA EURO W. EURO W. EURO W. EURO W. ES-EL300 EURO W. EURO W. EURO W. CLOPAY	22242 / 22242 / 22242 / ALL ALL ALL O SERIES ALL ALL	22235 22235 FL PR(APPR(21179) 21179 21179 221179 22410 22551. 21179 21179	96" 96" OD. OVAL

	NOTE SCHEDULE
)	ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
)	ROOM HAS NO CLOSET, BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM, AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
1	ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE, NOT ATTACHED TO BREAK-AWAY WALLS, NOR ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION
	CAST IN PLACE CONCRETE FLOOR STRUCTURE, REFER TO STRUCTURAL PLAN SET FOR DETAILS.
	CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
	CMU WALL COLUMN WITH TILE/STONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
	FLOOD VENT: SMARTVENT FL PA #5822.3 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
	GARAGE CEILINGS UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8", "TYPE X" DRYWALL FINISH FOR FIRE RATING.
	HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
	MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
	PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
	PER FBC R302.5.1 – DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
	PLANTER, STUCCO SAND FINISH
	PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
	REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
	REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
	SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
	SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1/CSA B44. PER FEMA TB-4, 2019, ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
	STUCCO SAND FINISH
	TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
	STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
	6'-0" DIA. ALUMINUM SPIRAL STAIRCASE, POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
)	INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 80", WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

THIS SET OF PLANS MUST BE KEPT ON
THE JOB AT ALL TIMES
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alterations without written approval
from the City of Tampa Construction
Services Division.
The Stamping of this plan shall not be
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of any City or State Codes
REVIEWED FOR CODE COMPLIANCE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON [07.08.2022] USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN/BUILD FIRM

BOSS MENNIE

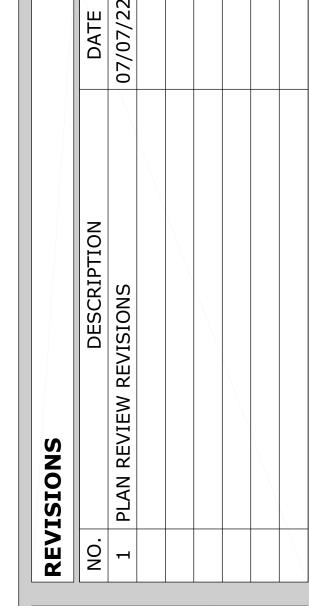
LUXURY HOME BUILDERS

100 MAIN ST SUITE 200
SAFETY HARBOR, FL 34695

CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

2ND FLOOR PLAN

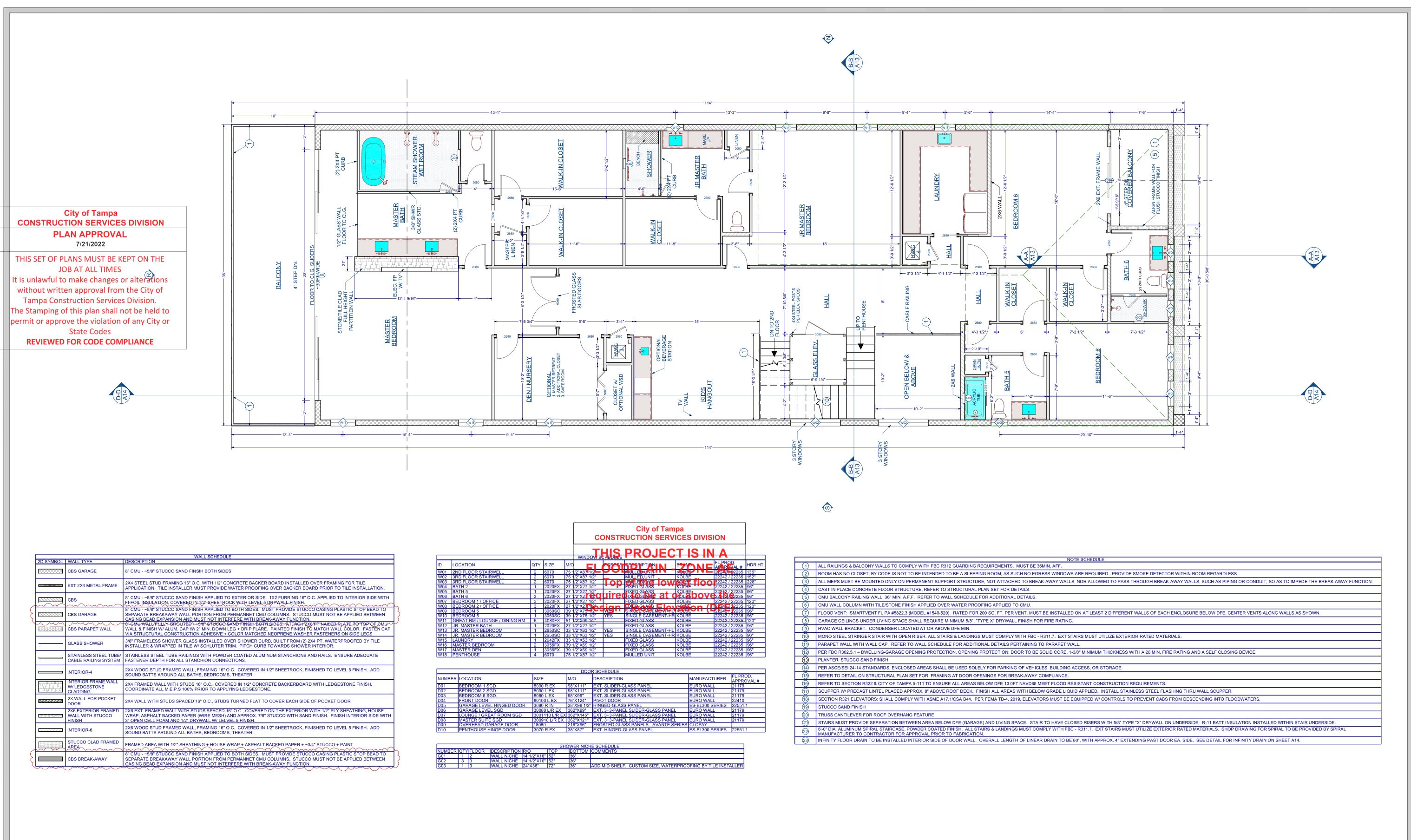
PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

3/16"

SHEET:



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DESIGN/BUILD FIRM

BOSS MENNIE

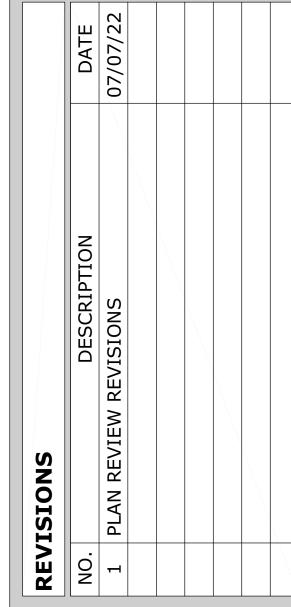
LUXURY HOME BUILDERS

100 MAIN ST SUITE 200

SAFETY HARBOR, FL 34695 CGC 1256191

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PAGE DESCRIPTION

3RD FLOOR PLAN

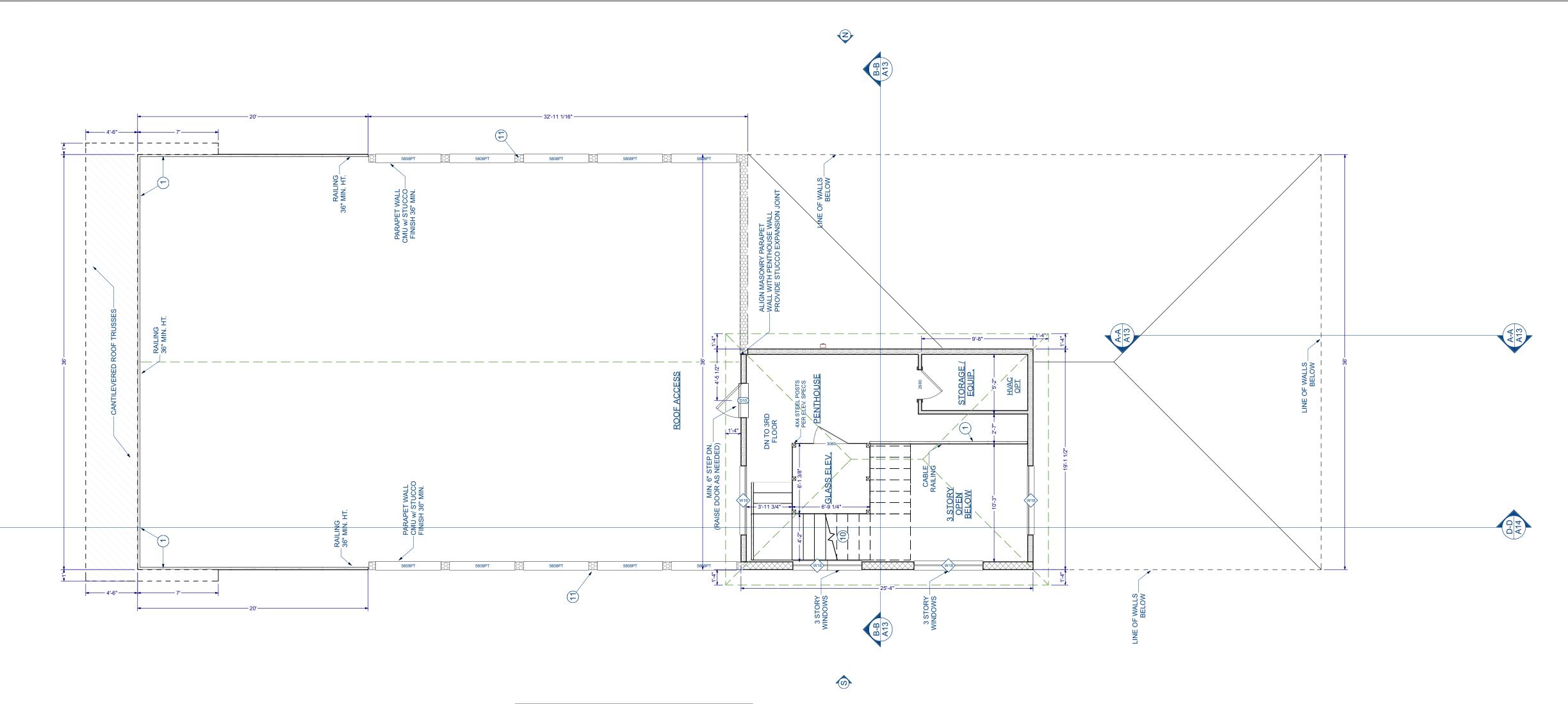
PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

3/16"

SHEET:



2D SYMBOL	WALL TYPE	WALL SCHEDULE DESCRIPTION
	CBS GARAGE	8" CMU - ~5/8" STUCCO SAND FINSIH BOTH SIDES
[EXT 2X4 METAL FRAME	2X4 STEEL STUD FRAMING 16" O.C. WITH 1/2" CONCRETE BACKER BOARD INSTALLED OVER FRAMING FOR TILE APPLICATION. TILE INSTALLER MUST PROVIDE WATER PROOFING OVER BACKER BOARD PRIOR TO TILE INSTALLATION.
	CBS	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO EXTERIOR SIDE. 1X2 FURRING 16" O.C. APPLIED TO INTERIOR SIDE WITH FI-FOIL INSULATION, COVERED IN 1/2" SHEETROCK WITH LEVEL 5 DRYWALL FINISH.
	CBS GARAGE	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANNET CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.
E88888888	CBS PARAPET WALL	8" CMU WALL/FULLY GROUTED > 5/8" STUCCO SAND FINSIL/BOTH SIDES: ATTACH 2X8/PT NAILER RLATE TO TOP OF CMU WALL & FINISH W/ ALUM. CAP W/ 2" MIN. DOWN LEG + DRIP FLARE. PAINTED FINISH TO MATCH WALL COLOR. FASTEN CAP VIA STRUCTURAL CONSTRUCTION ADHESIVE + COLOR MATCHED NEOPRENE WASHER FASTENERS ON SIDE LEGS
-	GLASS SHOWER	3/8" FRAMELESS SHOWER GLASS INSTALLED OVER SHOWER CURB, BUILT FROM (2) 2X4 PT, WATERPROOFED BY TILE INSTALLER & WRAPPED IN TILE W/ SCHLUTER TRIM. PITCH CURB TOWARDS SHOWER INTERIOR.
	STAINLESS STEEL TUBE/ CABLE RAILING SYSTEM	STAINLESS STEEL TUBE RAILINGS WITH POWDER COATED ALUMINUM STANCHIONS AND RAILS. ENSURE ADEQUATE FASTENER DEPTH FOR ALL STANCHION CONNECTIONS.
	INTERIOR-4	2X4 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.
	INTERIOR FRAME WALL W/ LEDGESTONE CLADDING	2X4 FRAMED WALL WITH STUDS 16" O.C., COVERED IN 1/2" CONCRETE BACKERBOARD WITH LEDGESTONE FINISH. COORDINATE ALL M.E.P.S 100% PRIOR TO APPLYING LEDGESTONE.
***************************************	2X WALL FOR POCKET DOOR	2X4 WALL WITH STUDS SPACED 16" O.C., STUDS TURNED FLAT TO COVER EACH SIDE OF POCKET DOOR
	2X6 EXTERIOR FRAMED WALL WITH STUCCO FINISH	2X6 EXT. FRAMED WALL WITH STUDS SPACED 16" O.C., COVERED ON THE EXTERIOR WITH 1/2" PLY SHEATHING, HOUSE WRAP, ASPHALT BACKED PAPER (WIRE MESH) AND APPROX. 7/8" STUCCO WITH SAND FINISH. FINISH INTERIOR SIDE WITH 3" OPEN CELL FOAM AND 1/2" DRYWALL W/ LELVEL 5 FINISH.
V///////	INTERIOR-6	2X6 WOOD STUD FRAMED WALL, FRAMING 16" O.C. COVERED IN 1/2" SHEETROCK, FINISHED TO LEVEL 5 FINISH. ADD SOUND BATTS AROUND ALL BATHS, BEDROOMS, THEATER.
<u> </u>	STUCCO CLAD FRAMED AREA	FRAMED AREA WITH 1/2" SHEATHING + HOUSE WRAP + ASPHALT BACKED PAPER + ~3/4" STUCCO + PAINT
	CBS BREAK-AWAY	8" CMU - ~5/8" STUCCO SAND FINISH APPLIED TO BOTH SIDES. MUST PROVIDE STUCCO CASING PLASTIC STOP BEAD TO SEPARATE BREAKAWAY WALL PORTION FROM PERMANNET CMU COLUMNS. STUCCO MUST NOT BE APPLIED BETWEEN CASING BEAD EXPANSION AND MUST NOT INTERFERE WITH BREAK-AWAY FUNCTION.

City of Tampa
CONSTRUCTION SERVICES DIVISION

PLAN APPROVAL

7/21/2022

THIS SET OF PLANS MUST BE KEPT ON THE

JOB AT ALL TIMES
It is unlawful to make changes or alterations

without written approval from the City of Tampa Construction Services Division.

The Stamping of this plan shall not be held to permit or approve the violation of any City or

State Codes

REVIEWED FOR CODE COMPLIANCE

							CC	NSTR	City (UCTION	of Tamp SERVI		DIVISIO	NC		
						WINE	T DOW 8	IIS.	PRO	JEC.	ΤI	S IN	A		
ID	LOCATION		QTY	SIZE	м/о		:1 4	EGRESS.	DESCRIPTO		BRAN	NE	FL PRO		HDR I
W01	2ND FLOOR STAI	RWELL	2	6070	75 1	/2"X87	1/2"	VV L	MULLED UN	1111	KOLB	PINE	22242		136"
W02	3RD FLOOR STAI	RWELL	2	6070	75 1	/2"X87	1/2"		MULLED UN	IIT_	KOLB	E	22242		152"
W03	3RD FLOOR STAI	RWELL	2	6070	75 1	/2"X87	1/2"	Ion	MULLEDUS	OWE	KOLB	Efloor	22242	22235	228"
W04	BATH 2		1			/2"X27		1 ob	FIXED GLAS	SS	KOLB	E	22242	22235	96"
W05	BATH 5		1	2020FX	27 1	/2"X27	1/2"		FIXED GLAS		KOLB		22242		96"
N06	BATH 6		3			/2"X27		uneo	FIXED GUA		KOL	pove	2242		96"
W07	BEDROOM 1 / OF		3			/2"X27			FIXED GLAS		KOLB				120"
80W	BEDROOM 2 / OF	FICE	3			/2"X27		ign l	FXEDGIA	SELOV	KOLB	hn (D			120"
W09	BEDROOM 5		1			/2"X75			SINGLECA						96"
N10	BEDROOM 5		1			/2"X75		YES		SEMENT-HR			22242		96"
<i>N</i> 11	GREAT RM / LOU		6		_	/2"X99		_	FIXED GLAS		KOLB		22242		120"
N12	JR. MASTER BAT		1			/2"X27		1	FIXED GLAS		KOLB		22242		96"
N13	JR. MASTER BED		1			/2"X63		YES		SEMENT-HL			22242		96"
N14	JR. MASTER BED	ROOM	1			/2"X63		YES		SEMENT-HR			22242		96"
N15	LAUNDRY		1			/2"X53			FIXED GLAS		KOLB		22242		96"
N16	MASTER BEDROO	ЭМ	2			/2"X69			FIXED GLAS		KOLB		22242		96"
N17 N18	MASTER DEN PENTHOUSE		4			/2"X69 /2"X87			FIXED GLAS		KOLB KOLB		22242		96" 96"
			1					HEDULE						IFL PR	ΩD
NUMB	ER LOCATION		SIZE		M/C			CHEDULE SCRIPTION				MANUFACT	URER	FL PR	
	ER LOCATION BEDROOM 1 S	GD .		REX			DES	SCRIPTION	GLASS PANE	L		MANUFACT		APPR0 21179	
001			8090		98")	DES EXT	SCRIPTION	GLASS PANE					APPR 21179 21179	
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001	BEDROOM 1 S BEDROOM 2 S	SGD SGD	8090 8090 8080	R EX	98" 98" 98"	X111" X111"	DES EXT EXT	SCRIPTION T. SLIDER-G T. SLIDER-G	SLASS PANE	L		EURO WALI EURO WALI		APPR 21179 21179	
001 002 003 004 005	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE	GGD GGD EL HINGED DOOR	8090 8090 8080 6010 3080	R EX L EX L EX 0 L EX	98" 98" 98" 76" 38"	X111" X111" X199" X124" X98 1/2	DES EXT EXT PIV 2" HIN	SCRIPTION T. SLIDER-G T. SLIDER-G T. SLIDER-G OT DOOR GED-GLAS	SLASS PANE SLASS PANE S PANEL	L L		EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S	ERIES	APPRO 21179 21179 21179 22410 22551	OVAL i
001 002 003 004 005 006	BEDROOM 1 S BEDROOM 6 S BEDROOM 6 S FRONT DOOR GARAGE LEVE	SGD SGD EL HINGED DOOR EL SGD	8090 8090 8080 6010 3080 3008	R EX L EX L EX O L EX O R IN	98" 98" 98" 76" 38"	X111" X111" X99" X124" X98 1/2"	DES EXT EXT PIV 2" HIN EXT	SCRIPTION T. SLIDER-G T. SLIDER-G T. SLIDER-G OT DOOR GED-GLAS T. 3+3-PANE	GLASS PANE GLASS PANE S PANEL EL SLIDER-G	L L LASS PANEI		EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI	ERIES	APPRO 21179 21179 21179 22410 22551 21179	OVAL i
001 002 003 004 005 006 007	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE LOUNGE / GRI	SGD SGD EL HINGED DOOR EL SGD EAT ROOM SGD	8090 8090 8080 6010 3080 3008	R EX L EX L EX IO L EX I R IN IO L/R EX 110 L/R EX	98" 98" 98" 76" 38" 362	X111" X111" X99" X124" X98 1/2 2"X99"	DES EXT EXT PIV 2" HIN EXT	SCRIPTION T. SLIDER-G T. SLIDER-G T. SLIDER-G OT DOOR GED-GLAS T. 3+3-PANE T. 3+3-PANE	GLASS PANE GLASS PANE S PANEL EL SLIDER-G EL SLIDER-G	L L LASS PANEI LASS PANEI		EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI	ERIES	APPRO 21179 21179 21179 22410 22551 21179 21179	OVAL i
D01 D02 D03 D04 D05 D06 D07 D08	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE GARAGE LEVE LOUNGE / GRI MASTER SUIT	EL HINGED DOOR EL SGD EAT ROOM SGD E SGD	8090 8090 8080 6010 3080 3008 3001 3009	R EX L EX D L EX D L EX D R IN D L/R EX 110 L/R EX	98" 98" 76" 38" 362 362	X111" X111" X99" X124" X98 1/2 2"X99" 2"X145' 2"X121'	DEST	SCRIPTION T. SLIDER-G T. SLIDER-G T. SLIDER-G OT DOOR GED-GLAS T. 3+3-PANE T. 3+3-PANE T. 3+3-PANE	SLASS PANE SLASS PANE S PANEL EL SLIDER-G EL SLIDER-G EL SLIDER-G	L LASS PANEI LASS PANEI LASS PANEI	-	EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI	ERIES	APPRO 21179 21179 21179 22410 22551 21179	OVAL #
001 002 003 004 005 006 007 008	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE LOUNGE / GRI MASTER SUIT OVERHEAD G.	EL HINGED DOOR EL SGD EAT ROOM SGD E SGD ARAGE DOOR	8090 8090 8080 6010 3080 3008 3001 3009 1808	R EX L EX 0 L EX 0 R IN 0 L/R EX 110 L/R EX 110 L/R EX	98" 98" 98" 76" 382 362 362 216	X111" X111" X99" X124" X98 1/2 2"X99" 2"X145' 2"X121' 5"X96"	EXT EXT EXT PIV 2" HIN EXT ' EXT	SCRIPTION F. SLIDER-G F. SLIDER-G OT DOOR GED-GLAS F. 3+3-PANE F. 3+3-PANE F. 3+3-PANE DSTED GLA STED GLA STED GLA STED GLA STED GLA GED-GLAS F. 3+3-PANE GED-GLAS GED-GLA	SLASS PANE SLASS PANE S PANEL EL SLIDER-G EL SLIDER-G EL SLIDER-G SS PANELS	L LASS PANEL LASS PANEL LASS PANEL - AVANTE SI	- - ERIES	EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI EURO WALI CLOPAY	ERIES	APPRO 21179 21179 22410 22551 21179 21179 21179	OVAL #
001 002 003 004 005 006 007 008	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE GARAGE LEVE LOUNGE / GRI MASTER SUIT	EL HINGED DOOR EL SGD EAT ROOM SGD E SGD ARAGE DOOR	8090 8090 8080 6010 3080 3008 3001 3009 1808	R EX L EX D L EX D L EX D R IN D L/R EX 110 L/R EX	98" 98" 98" 76" 382 362 362 216	X111" X111" X99" X124" X98 1/2 2"X99" 2"X145' 2"X121'	EXT EXT EXT PIV 2" HIN EXT ' EXT	SCRIPTION F. SLIDER-G F. SLIDER-G OT DOOR GED-GLAS F. 3+3-PANE F. 3+3-PANE F. 3+3-PANE DSTED GLA STED GLA STED GLA STED GLA STED GLA GED-GLAS F. 3+3-PANE GED-GLAS GED-GLA	SLASS PANE SLASS PANE S PANEL EL SLIDER-G EL SLIDER-G EL SLIDER-G	L LASS PANEL LASS PANEL LASS PANEL - AVANTE SI	- - - ERIES	EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI	ERIES	APPRO 21179 21179 21179 22410 22551 21179 21179	OVAL i
001 002 003 004 005 006 007 008	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE LOUNGE / GRI MASTER SUIT OVERHEAD G.	EL HINGED DOOR EL SGD EAT ROOM SGD E SGD ARAGE DOOR	8090 8090 8080 6010 3080 3008 3001 3009 1808	R EX L EX 0 L EX 0 R IN 0 L/R EX 110 L/R EX 110 L/R EX	98" 98" 98" 76" 382 362 362 216	X111" X111" X99" X124" X98 1/2 2"X99" 2"X145' 2"X121' 5"X96"	EXT EXT EXT PIV 2" HIN EXT ' EXT	SCRIPTION F. SLIDER-G F. SLIDER-G OT DOOR GED-GLAS F. 3+3-PANE F. 3+3-PANE F. 3+3-PANE DSTED GLA STED GLA STED GLA STED GLA STED GLA GED-GLAS F. 3+3-PANE GED-GLAS GED-GLA	SLASS PANE SLASS PANE S PANEL EL SLIDER-G EL SLIDER-G EL SLIDER-G SS PANELS	L LASS PANEL LASS PANEL LASS PANEL - AVANTE SI	- - - ERIES	EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI EURO WALI CLOPAY	ERIES	APPRO 21179 21179 22410 22551 21179 21179 21179	OVAL #
001 002 003 004 005 006 007 008 009	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE GARAGE LEVE LOUNGE / GRI MASTER SUIT OVERHEAD G. PENTHOUSE I	EL HINGED DOOR EL SGD EAT ROOM SGD E SGD ARAGE DOOR	8090 8090 8080 6010 3080 3008 3001 3009 1808 3070	R EX 1 L EX 1 L EX 10 L EX 10 L EX 17 R IN 10 L/R EX 110 L/R EX 110 L/R EX 110 L/R EX 110 L/R EX	98" 98" 98" 76" 38" 362 362 216 38"	X111" X111" X99" X124" X98 1/2" X98 1/2" X99" "X145' "X121' X87"	DES EXT EXT PIV 2" HIN EXT ' EXT FRO EXT	SCRIPTION F. SLIDER-G F. SLIDER-G F. SLIDER-G OT DOOR GED-GLAS F. 3+3-PANE F. 3+3-PANE DSTED GLA F. HINGED-G CHEDULE	SLASS PANE SLASS PANE S PANEL EL SLIDER-G EL SLIDER-G EL SLIDER-G SS PANELS	L LASS PANEL LASS PANEL LASS PANEL - AVANTE SI	- - ERIES	EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI EURO WALI CLOPAY	ERIES	APPRO 21179 21179 22410 22551 21179 21179 21179	OVAL #
001 002 003 004 005 006 007 008 009 010	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE GARAGE LEVE LOUNGE / GRI MASTER SUIT OVERHEAD G. PENTHOUSE I	EL HINGED DOOR EL SGD EAT ROOM SGD E SGD ARAGE DOOR HINGE DOOR	8090 8090 8080 6010 3080 3008 3001 3009 1808 3070	R EX L	98" 98" 98" 76" 38" 362 362 362 362 38"	X111" X111" X99" X124" X98 1/2" Y398 1/2" Y399" Y345" Y345" X87" ER NIC	DES EXT EXT PIV 2" HIN EXT ' EXT FRO EXT	SCRIPTION T. SLIDER-G T. SLIDER-G T. SLIDER-G OT DOOR GED-GLAS T. 3+3-PANE T. 3+3-PANE DSTED GLA T. HINGED-G	SLASS PANE SLASS PANE S PANEL EL SLIDER-G EL SLIDER-G EL SLIDER-G SS PANELS	L LASS PANEL LASS PANEL LASS PANEL - AVANTE SI	- - - ERIES	EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI EURO WALI CLOPAY	ERIES	APPRO 21179 21179 22410 22551 21179 21179 21179	OVAL #
G01	BEDROOM 1 S BEDROOM 2 S BEDROOM 6 S FRONT DOOR GARAGE LEVE GARAGE LEVE LOUNGE / GRI MASTER SUIT OVERHEAD G. PENTHOUSE I	EGD SGD EL HINGED DOOR EL SGD EAT ROOM SGD E SGD ARAGE DOOR HINGE DOOR	8090 8090 8080 6010 3080 3001 3009 1808 3070	R EX 1 L EX 1 L EX 10 L EX 10 L EX 10 L FX 10 L/R EX 110 L/R EX	98" 98" 98" 76" 382 362 362 216 38"	X111" X111" X99" X124" X98 1/2" X98 1/2" X99" 2"X145' 2"X121' 5"X96" X87" ER NIC	DES EXT EXT PIV 2" HIN EXT ' EXT FRO EXT	SCRIPTION F. SLIDER-G F. SLIDER-G F. SLIDER-G OT DOOR GED-GLAS F. 3+3-PANE F. 3+3-PANE DSTED GLA F. HINGED-G CHEDULE	SLASS PANE SLASS PANE S PANEL EL SLIDER-G EL SLIDER-G EL SLIDER-G SS PANELS	L LASS PANEL LASS PANEL LASS PANEL - AVANTE SI	ERIES	EURO WALI EURO WALI EURO WALI EURO WALI ES-EL300 S EURO WALI EURO WALI EURO WALI CLOPAY	ERIES	APPRO 21179 21179 22410 22551 21179 21179 21179	OVAL #
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$\overline{}$	NOTE SCHEDULE
<u>(1)</u>	ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
(2)	ROOM HAS NO CLOSET, BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM, AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
<u>(3)</u>	ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE, NOT ATTACHED TO BREAK-AWAY WALLS, NOR ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION
4	CAST IN PLACE CONCRETE FLOOR STRUCTURE, REFER TO STRUCTURAL PLAN SET FOR DETAILS.
(5)	CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
6	CMU WALL COLUMN WITH TILE/STONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
7	FLOOD VENT: SMARTVENT FL PA #5822.3 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
8	GARAGE CEILINGS UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8", "TYPE X" DRYWALL FINISH FOR FIRE RATING.
9	HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
10	MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
11	PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
12	PER FBC R302.5.1 – DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
13	PLANTER, STUCCO SAND FINISH
14)	PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
15	REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
16	REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
17	SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
(18)	SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1/CSA B44. PER FEMA TB-4, 2019, ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
19	STUCCO SAND FINISH
20	TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
21)	STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
22	6'-0" DIA. ALUMINUM SPIRAL STAIRCASE, POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
23	INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 80", WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

ENGINEER SEAL

THIS SET OF PLANS MUST BE KEPT ON
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It is unlawful to make changes or
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from the City of Tampa Construction
Services Division.
The Stamping of this plan shall not be
held to permit or approve the violation
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DESIGN/BUILD FIRM

BOSS MENNIE

LUXURY HOME BUILDERS

100 MAIN ST SUITE 200

SAFETY HARBOR, FL 34695 CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606

REV	REVISIONS	
NO.	DESCRIPTION	DATE
	PLAN REVIEW REVISIONS	07/07/22

PAGE DESCRIPTION

PENTHOUSE FLOOR PLAN

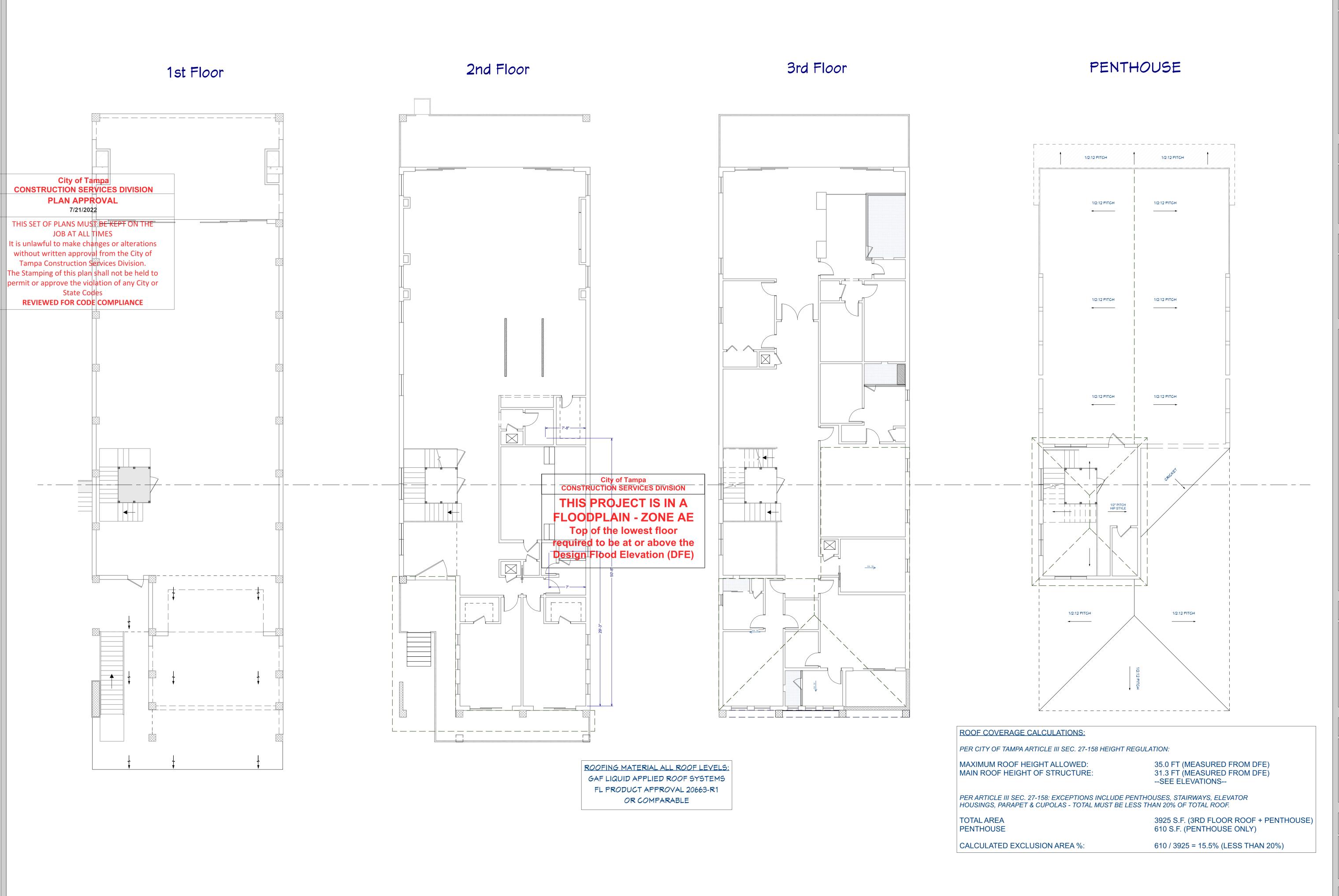
PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

3/16"

SHEET:



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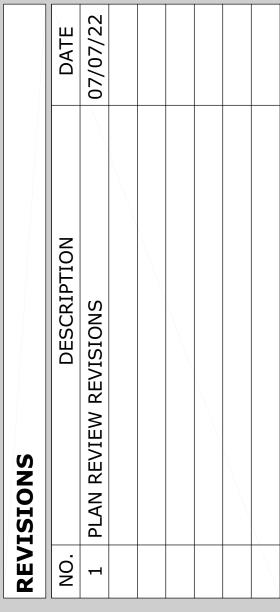
DESIGN/BUILD FIRM

BOSS MENNIE
LUXURY HOME BUILDERS

100 MAIN ST SUITE 200 SAFETY HARBOR, FL 34695 CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE
34 ADALIA AVE.
TAMPA, FL 33606



PAGE DESCRIPTION

ROOF PLAN

PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

3/16"

SHEET:



				WINDO	W SCHEDULE					
D I	LOCATION	QTY	SIZE	M/O	EGRESS	DESCRIPTION	BRAN		L PROD. APPROVAL#	HDR HT.
V01	2ND FLOOR STAIRWELL	2	6070	75 1/2"X87 1/2	2"	MULLED UNIT	KOLB	E 2	22242 / 22235	136"
V02	3RD FLOOR STAIRWELL	2	6070	75 1/2"X87 1/2	2"	MULLED UNIT	KOLB	E 2	22242 / 22235	152"
	3RD FLOOR STAIRWELL	2	6070	75 1/2"X87 1/2	2"	MULLED UNIT	KOLB	E 2	22242 / 22235	228"
/04 l	BATH 2	1	2020FX	27 1/2"X27 1/2	2"	FIXED GLASS	KOLB			
/05 I	BATH 5	1	2020FX	27 1/2"X27 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	96"
/06 I	BATH 6	3	2020FX	27 1/2"X27 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	96"
/07 I	BEDROOM 1 / OFFICE	3	2020FX	27 1/2"X27 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	120"
/08 I	BEDROOM 2 / OFFICE	3	2020FX	27 1/2"X27 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	120"
/09 I	BEDROOM 5	1	3060SC	39 1/2"X75 1/2	2" YES	SINGLE CASEMENT-HL	KOLB	E 2	22242 / 22235	96"
/10 I	BEDROOM 5	1	3060SC	39 1/2"X75 1/2	2" YES	SINGLE CASEMENT-HR	KOLB	E 2	22242 / 22235	96"
11	GREAT RM / LOUNGE / DINING RM	6	4080FX	51 1/2"X99 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	120"
/12	JR. MASTER BATH	1	2020FX	27 1/2"X27 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	96"
/13	JR. MASTER BEDROOM	1	2650SC	33 1/2"X63 1/2	2" YES	SINGLE CASEMENT-HL	KOLB	E 2	22242 / 22235	96"
/14	JR. MASTER BEDROOM	1	2650SC	33 1/2"X63 1/2	2" YES	SINGLE CASEMENT-HR	KOLB	E 2	22242 / 22235	96"
/15	LAUNDRY	1	2642FX	33 1/2"X53 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	96"
/16	MASTER BEDROOM	2	3056FX	39 1/2"X69 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	96"
17	MASTER DEN	1	3056FX	39 1/2"X69 1/2	2"	FIXED GLASS	KOLB	E 2	22242 / 22235	96"
/18	PENTHOUSE	4	6070	75 1/2"X87 1/2	2"	MULLED UNIT	KOLB	E 2	22242 / 22235	96"
				DOOR	SCHEDULE					
	R LOCATION	SIZE			DESCRIPTION			MANUFACTU	APPR	OVAL#
01	BEDROOM 1 SGD		REX		EXT. SLIDER-G			EURO WALL	21179	
02	BEDROOM 2 SGD		L EX		EXT. SLIDER-G			EURO WALL	21179	
03	BEDROOM 6 SGD	8080	L EX	98"X99"	EXT. SLIDER-G	SLASS PANEL		EURO WALL	21179	

				0 1/2 /\ \ \ \		JOHNOLL CAGLINLINI - HIVING		122242 / 22200 100		
G	REAT RM / LOUNGE / DINING RM	6 408	30FX 5	51 1/2"X99 1	1/2"	FIXED GLASS KO	OLBE	22242 / 22235 120"	(8)	GARAGE CEILINGS UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8", "TYPE X" DRYWALL FINISH FOR FIRE RATING.
	R. MASTER BATH R. MASTER BEDROOM			27 1/2"X27 1 33 1/2"X63 1		FIXED GLASS KO	OLBE	22242 / 22235 96" 22242 / 22235 96"	(9)	HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
JF	R. MASTER BEDROOM			3 1/2 X63 1 3 1/2"X63 1		SINGLE CASEMENT-HE KO		22242 / 22235 96"	10	MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
	UNDRY			33 1/2"X53 1		FIXED GLASS KO	OLBE	22242 / 22235 96"	(11)	PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
	ASTER BEDROOM			9 1/2"X69 1			OLBE	22242 / 22235 96"	<u> </u>	PARAPET WALL WITH WALL CAP. REPER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
	ASTER DEN ENTHOUSE	4 607		39 1/2"X69 1 75 1/2"X87 1			OLBE OLBE	22242 / 22235 96" 22242 / 22235 96"	(12)	PER FBC R302.5.1 – DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
_		. 00.		0 1/2 / (0)	.,	,		22117 22200 00	13	PLANTER, STUCCO SAND FINISH
				D00	D COLIEDI	U.E.			(14)	PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
- D	LOCATION	SIZE		M/O	DESCRIP		MANUFACT	FL PROD.	(15)	REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
	BEDROOM 1 SGD	8090 R E	- V	98"X111"		DER-GLASS PANEL	EURO WALI	APPROVAL #	(16)	REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
	BEDROOM 2 SGD	8090 L E	Χ	98"X111"		DER-GLASS PANEL	EURO WALI		(17)	SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
	BEDROOM 6 SGD	8080 L E				DER-GLASS PANEL	EURO WALI		18	SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1/CSA B44. PER FEMA TB-4, 2019, ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
	FRONT DOOR	60100 L			PIVOT DO		EURO WALI		<u> </u>	SECTION NO. STALE COMILET WITH ASME ATT. FOOK B44. TEXT EMA 15-4, 2013, ELEVATORO MICOT BE EQUITED WITHOUT CONTINUES TO TREVENT GABOTROW DESCENDING INTO TECODOWATERS.
	GARAGE LEVEL HINGED DOOR	3080 R I				GLASS PANEL		ERIES 22551.1	(19)	STUCCO SAND FINISH
	GARAGE LEVEL SGD					PANEL SLIDER-GLASS PANEL	EURO WALI			
	LOUNGE / GREAT ROOM SGD	3001110	L/R EX	362"X145"	EXT. 3+3	-PANEL SLIDER-GLASS PANEL	EURO WALI		(20)	TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
	MASTER SUITE SGD OVERHEAD GARAGE DOOR	300910 I 18080		362"X121" 216"X96"		PANEL SLIDER-GLASS PANEL OGLASS PANELS - AVANTE SERI	EURO WALI	L 21179	(21)	STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
	PENTHOUSE HINGE DOOR	3070 R E				GED-GLASS PANEL		SERIES 22551.1	22	6'-0" DIA. ALUMINUM SPIRAL STAIRCASE, POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL TO BE PRO
										MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.

(5) CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.

CMU WALL COLUMN WITH TILE/STONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.

2) ROOM HAS NO CLOSET, BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM, AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.

FLOOD VENT: SMARTVENT FL PA #5822.3 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.

infinity floor drain to be installed interior side of door wall. Overall length of linear drain to be 80", with approx. 4" extending past door ea. side. See detail for infinity drain on sheet a14.

ENGINEER SEAL

THE JOB AT ALL TIMES It is unlawful to make changes or The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes REVIEWED FOR CODE COMPLIANCE

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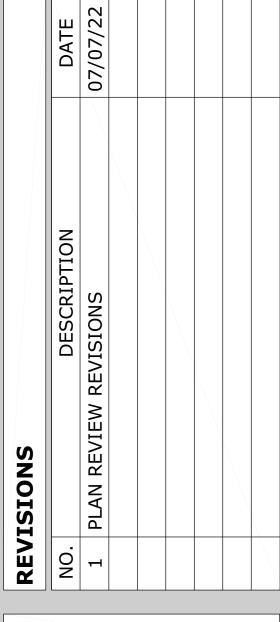
DESIGN/BUILD FIRM

LUXURY HOME BUILDERS

100 MAIN ST SUITE 200 SAFETY HARBOR, FL 34695 CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

FRONT & REAR **ELEVATIONS**

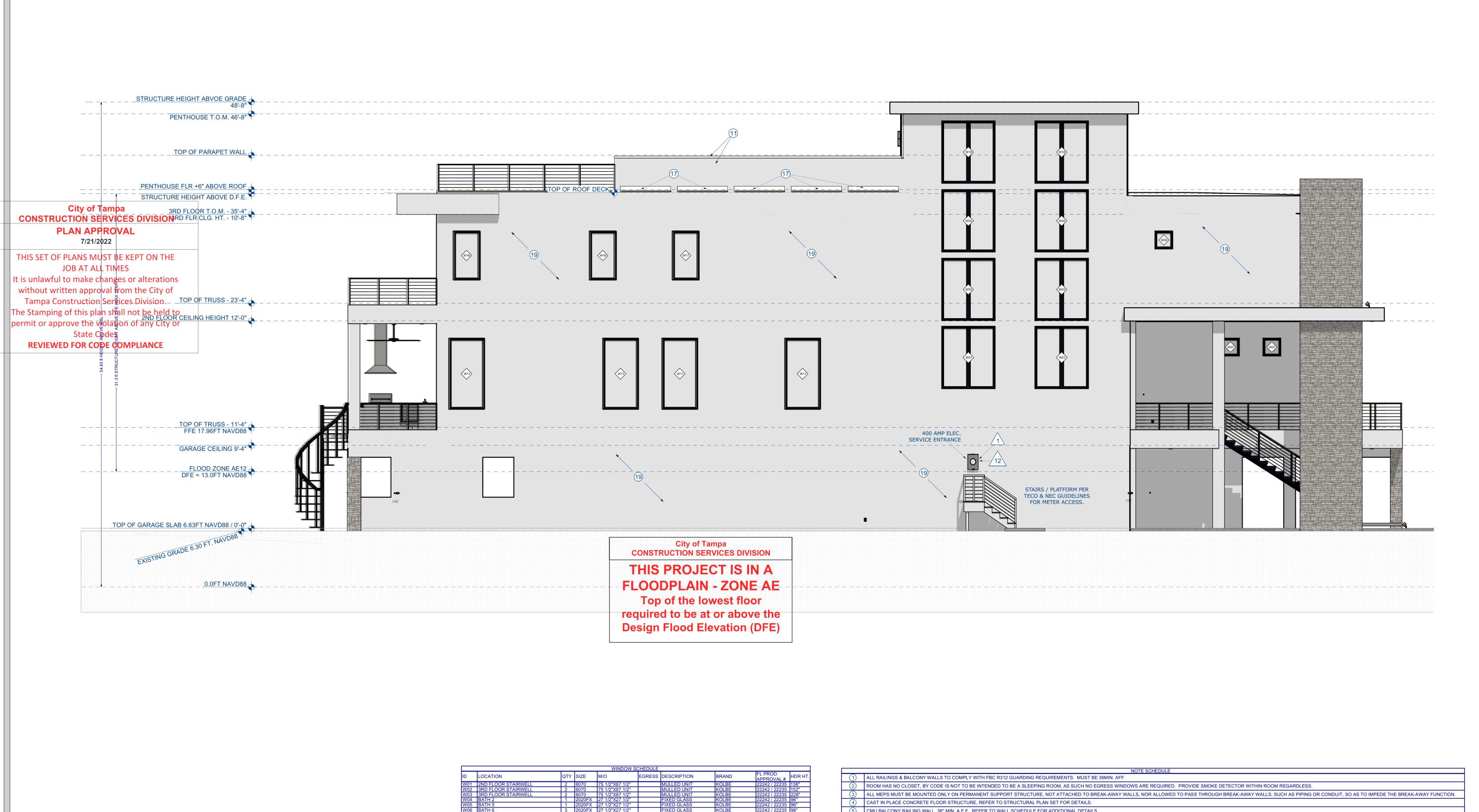
PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

1/4"

SHEET:



	WINDOWS	SCHEDULE			NOTE SCHEDULE
LOCATION	QTY SIZE M/O	EGRESS DESCRIPTION	BRAND FL PROD. APPROVAL # HDR H		1 ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
2ND FLOOR STAIRWELL 3RD FLOOR STAIRWELL	2 6070 75 1/2"X87 1/2" 2 6070 75 1/2"X87 1/2"		KOLBE 22242 / 22235 136" KOLBE 22242 / 22235 152"		2 ROOM HAS NO CLOSET, BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM, AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
3RD FLOOR STAIRWELL 3RD FLOOR STAIRWELL	2 6070 75 1/2 X87 1/2 2 6070 75 1/2"X87 1/2"	MULLED UNIT	KOLBE 22242 / 22235 228"		3 ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE, NOT ATTACHED TO BREAK-AWAY WALLS, NOR ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION.
BATH 2 BATH 5	1 2020FX 27 1/2"X27 1/2" 1 2020FX 27 1/2"X27 1/2"		KOLBE 22242 / 22235 96" KOLBE 22242 / 22235 96"		(4) CAST IN PLACE CONCRETE FLOOR STRUCTURE, REFER TO STRUCTURAL PLAN SET FOR DETAILS.
BATH 6	3 2020FX 27 1/2"X27 1/2"	FIXED GLASS	KOLBE 22242 / 22235 96"		5) CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
BEDROOM 1 / OFFICE BEDROOM 2 / OFFICE	3 2020FX 27 1/2"X27 1/2" 3 2020FX 27 1/2"X27 1/2"		KOLBE 22242 / 22235 120" KOLBE 22242 / 22235 120"		6) CMU WALL COLUMN WITH TILE/STONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
BEDROOM 5 BEDROOM 5	1 3060SC 39 1/2"X75 1/2" 1 3060SC 39 1/2"X75 1/2"				7 FLOOD VENT: SMARTVENT FL PA #5822.3 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
GREAT RM / LOUNGE / DINING	RM 6 4080FX 51 1/2"X99 1/2"	FIXED GLASS	KOLBE 22242 / 22235 120"		8) GARAGE CEILINGS UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8", "TYPE X" DRYWALL FINISH FOR FIRE RATING.
JR. MASTER BATH JR. MASTER BEDROOM	1 2020FX 27 1/2"X27 1/2" 1 2650SC 33 1/2"X63 1/2"		KOLBE 22242 / 22235 96"		9 HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
JR. MASTER BEDROOM	1 2650SC 33 1/2"X63 1/2"	YES SINGLE CASEMENT-H	IR KOLBE 22242 / 22235 96"		MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
LAUNDRY MASTER BEDROOM	1 2642FX 33 1/2"X53 1/2" 2 3056FX 39 1/2"X69 1/2"	FIXED GLASS FIXED GLASS	KOLBE 22242 / 22235 96" KOLBE 22242 / 22235 96"		1) PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
MASTER DEN PENTHOUSE	1 3056FX 39 1/2"X69 1/2" 4 6070 75 1/2"X87 1/2"		KOLBE 22242 / 22235 96" KOLBE 22242 / 22235 96"		PER FBC R302.5.1 – DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
I ENTITOOOL	4 0070 173 172 X07 172	MOLLED ONT		ı	13 PLANTER, STUCCO SAND FINISH
	DOOD 00	CHEDULE			PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
BER LOCATION		SCRIPTION	MANUFACTURER FL PROD.	,	REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
BEDROOM 1 SGD		T. SLIDER-GLASS PANEL	EURO WALL 21179		REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
BEDROOM 2 SGD	8090 L EX 98"X111" EX	T. SLIDER-GLASS PANEL	EURO WALL 21179		SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
BEDROOM 6 SGD FRONT DOOR		T. SLIDER-GLASS PANEL OT DOOR	EURO WALL 21179 EURO WALL 22410		SECTION R321 ELEVATORS: SHALL COMPLY WITH ASME A17.1/CSA B44. PER FEMA TB-4, 2019, ELEVATORS MUST BE EQUIPPED W/ CONTROLS TO PREVENT CABS FROM DESCENDING INTO FLOODWATERS.
GARAGE LEVEL HINGED D GARAGE LEVEL SGD		IGED-GLASS PANEL T. 3+3-PANEL SLIDER-GLASS PAN	ES-EL300 SERIES 22551.1 EL EURO WALL 21179		9 STUCCO SAND FINISH
LOUNGE / GREAT ROOM S	GD 3001110 L/R EX 362"X145" EX	T. 3+3-PANEL SLIDER-GLASS PAN	EL EURO WALL 21179		TRUSS CANTILEVER FOR ROOF OVERHANG FEATURE
MASTER SUITE SGD OVERHEAD GARAGE DOOR		T. 3+3-PANEL SLIDER-GLASS PAN OSTED GLASS PANELS - AVANTE			STAIRS MUST PROVIDE SEPARATION BETWEEN AREA BELOW DFE (GARAGE) AND LIVING SPACE. STAIR TO HAVE CLOSED RISERS WITH 5/8" TYPE "X" DRYWALL ON UNDERSIDE. R-11 BATT INSULATION INSTALLED WITHIN STAIR UNDERSIDE.
PENTHOUSE HINGE DOOR		T. HINGED-GLASS PANEL	ES-EL300 SERIES 22551.1		6'-0" DIA. ALUMINUM SPIRAL STAIRCASE, POWDER COATED FINISH. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS. SHOP DRAWING FOR SPIRAL TO BE PROVIDED BY SPIRAL MANUFACTURER TO CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
					23 INFINITY FLOOR DRAIN TO BE INSTALLED INTERIOR SIDE OF DOOR WALL. OVERALL LENGTH OF LINEAR DRAIN TO BE 80", WITH APPROX. 4" EXTENDING PAST DOOR EA. SIDE. SEE DETAIL FOR INFINITY DRAIN ON SHEET A14.

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DESIGN/BUILD FIRM

BOSS MENNIE

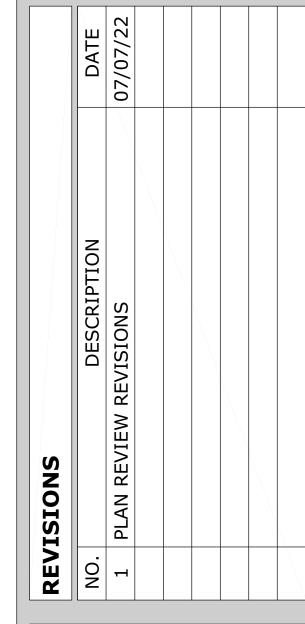
LUXURY HOME BUILDERS

100 MAIN ST SUITE 200

SAFETY HARBOR, FL 34695 CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

SOUTH ELEVATION

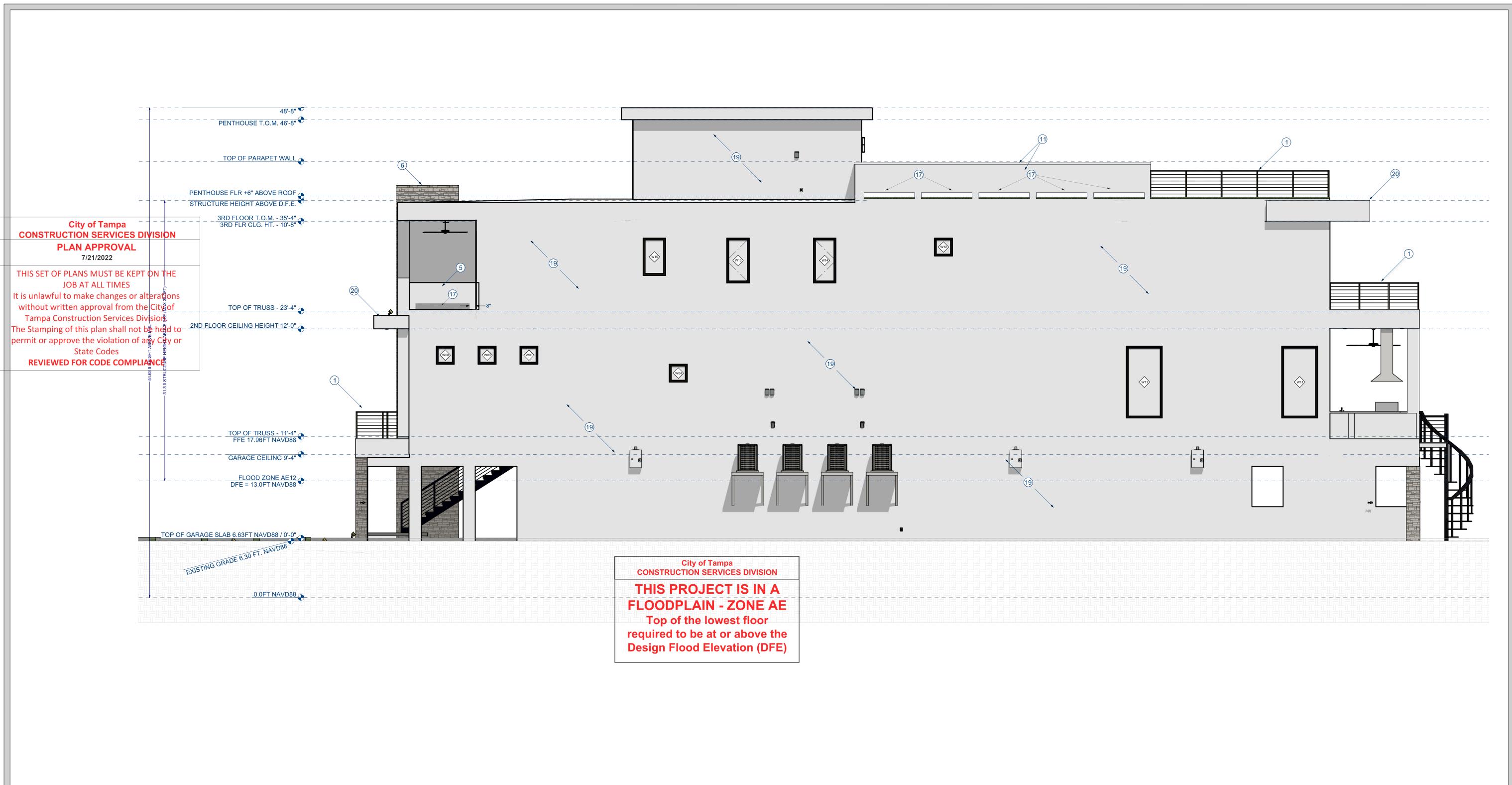
PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

3/16"

SHEET:



_		071	0.75	WINDO	500500	DECODIDEION		_ FL P	ROD.	
D	LOCATION	QTY	SIZE	M/O	EGRESS	DESCRIPTION	BRAN	1) 1: -:	ROVAL#	HDR HT
W01	2ND FLOOR STAIRWELL	2	6070	75 1/2"X87 1/3	2"	MULLED UNIT	KOLB		2 / 22235	
W02	3RD FLOOR STAIRWELL	2	6070	75 1/2"X87 1/3	2"	MULLED UNIT	KOLB	E 2224	2 / 22235	152"
W03	3RD FLOOR STAIRWELL	2	6070	75 1/2"X87 1/		MULLED UNIT	KOLB		2 / 22235	
W04	BATH 2	1	2020FX	27 1/2"X27 1/	2"	FIXED GLASS	KOLB		2 / 22235	
W05	BATH 5	1	2020FX	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E 2224	2 / 22235	96"
W06	BATH 6	3	2020FX	27 1/2"X27 1/			KOLB		2 / 22235	
W07	BEDROOM 1 / OFFICE	3	2020FX	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E 2224	2 / 22235	120"
80W	BEDROOM 2 / OFFICE	3	2020FX	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E 2224	2 / 22235	120"
W09	BEDROOM 5	1	3060SC	39 1/2"X75 1/3	2" YES	SINGLE CASEMENT-HL	KOLB	E 2224	2 / 22235	96"
W10	BEDROOM 5	1	3060SC	39 1/2"X75 1/3	2" YES	SINGLE CASEMENT-HR	KOLB	E 2224	2 / 22235	96"
N11	GREAT RM / LOUNGE / DINING RM	6	4080FX	51 1/2"X99 1/3	2"	FIXED GLASS	KOLB	E 2224	2 / 22235	120"
N12	JR. MASTER BATH	1	2020FX	27 1/2"X27 1/3	2"	FIXED GLASS	KOLB	E 2224	2 / 22235	96"
N13	JR. MASTER BEDROOM	1	2650SC	33 1/2"X63 1/2	2" YES	SINGLE CASEMENT-HL	KOLB	E 2224	2 / 22235	96"
N14	JR. MASTER BEDROOM	1	2650SC	33 1/2"X63 1/2	2" YES	SINGLE CASEMENT-HR	KOLB	E 2224	2 / 22235	96"
N15	LAUNDRY	1	2642FX	33 1/2"X53 1/3	2"	FIXED GLASS	KOLB	E 2224	2 / 22235	96"
W16	MASTER BEDROOM	2	3056FX	39 1/2"X69 1/3	2"	FIXED GLASS	KOLB		2 / 22235	
W17	MASTER DEN	1	3056FX	39 1/2"X69 1/3	2"	FIXED GLASS	KOLB	E 2224	2 / 22235	96"
W18	PENTHOUSE	4	6070	75 1/2"X87 1/3	2"	MULLED UNIT	KOLB	E 2224	2 / 22235	96"
ILIMB	EER LOCATION	SIZE	:	DOOF	R SCHEDULE DESCRIPTION			MANUFACTURE	FL PR	
				1.1		N. 400 BANE!			APPR	OVAL#
D01	BEDROOM 1 SGD		REX		EXT. SLIDER-G			EURO WALL	21179	
002	BEDROOM 2 SGD		L EX	98"X111"	EXT. SLIDER-G			EURO WALL	21179	
003	BEDROOM 6 SGD		LEX	98"X99"	EXT. SLIDER-G	BLASS PANEL		EURO WALL	21179	
004	FRONT DOOR		0 L EX		PIVOT DOOR			EURO WALL	22410	
D05	GARAGE LEVEL HINGED DOOR	13080	RIN	38"X98 1/2"	HINGED-GLAS	S PANFI		ES-EL300 SERIES	S 22551	.1
006	GARAGE LEVEL SGD		0 L/R EX	362"X99"		EL SLIDER-GLASS PANEL		EURO WALL	21179	

	NOTE SCHEDULE
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7	FLOOD VENT: SMARTVENT FL PA #5822.3 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
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9	HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
10	MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
11)	PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
(12)	PER FBC R302.5.1 – DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
(13)	PLANTER, STUCCO SAND FINISH
14)	PER ASCE/SEI 24-14 STANDARDS. ENCLOSED AREAS SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS, OR STORAGE.
(15)	REFER TO DETAIL ON STRUCTURAL PLAN SET FOR FRAMING AT DOOR OPENINGS FOR BREAK-AWAY COMPLIANCE.
16	REFER TO SECTION R322 & CITY OF TAMPA 5-111 TO ENSURE ALL AREAS BELOW DFE 13.0FT NAVD88 MEET FLOOD RESISTANT CONSTRUCTION REQUIREMENTS.
17	SCUPPER W/ PRECAST LINTEL PLACED APPROX. 8" ABOVE ROOF DECK. FINISH ALL AREAS WITH BELOW GRADE LIQUID APPLIED. INSTALL STAINLESS STEEL FLASHING THRU WALL SCUPPER.
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ENGINEER SEAL BLD-22-0492973 7/21/2

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DESIGN/BUILD FIRM

BOSS MENNIE

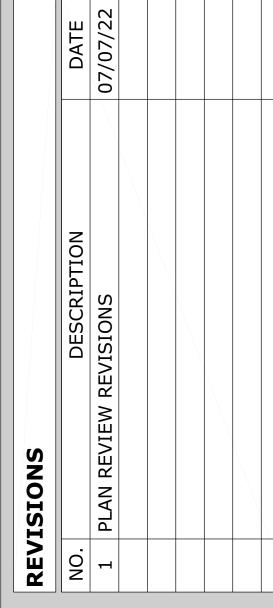
LUXURY HOME BUILDERS

100 MAIN ST SUITE 200

100 MAIN ST SUITE 200 SAFETY HARBOR, FL 34695 CGC 1256191

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PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

NORTH ELEVATION

PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

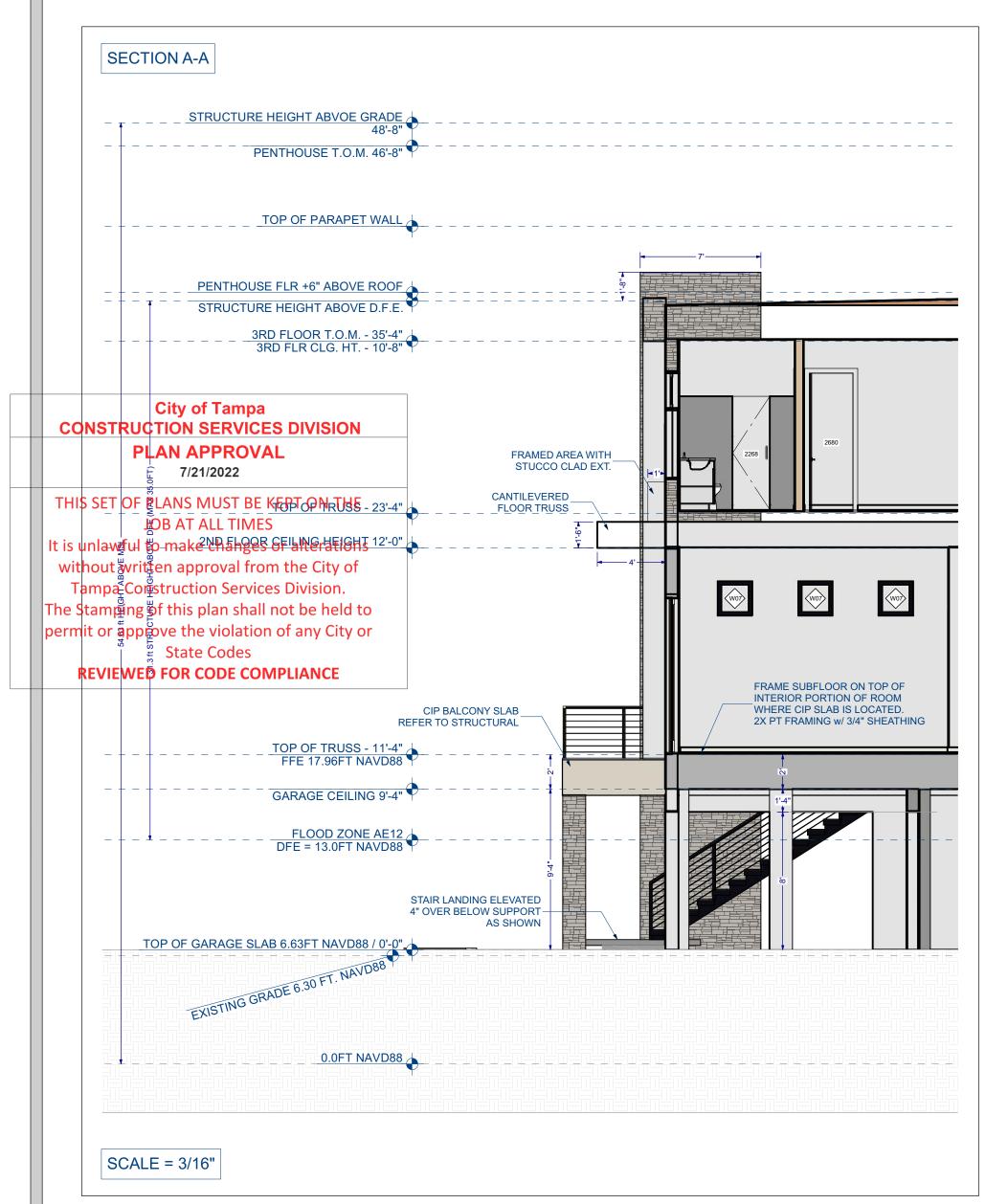
SCALE:

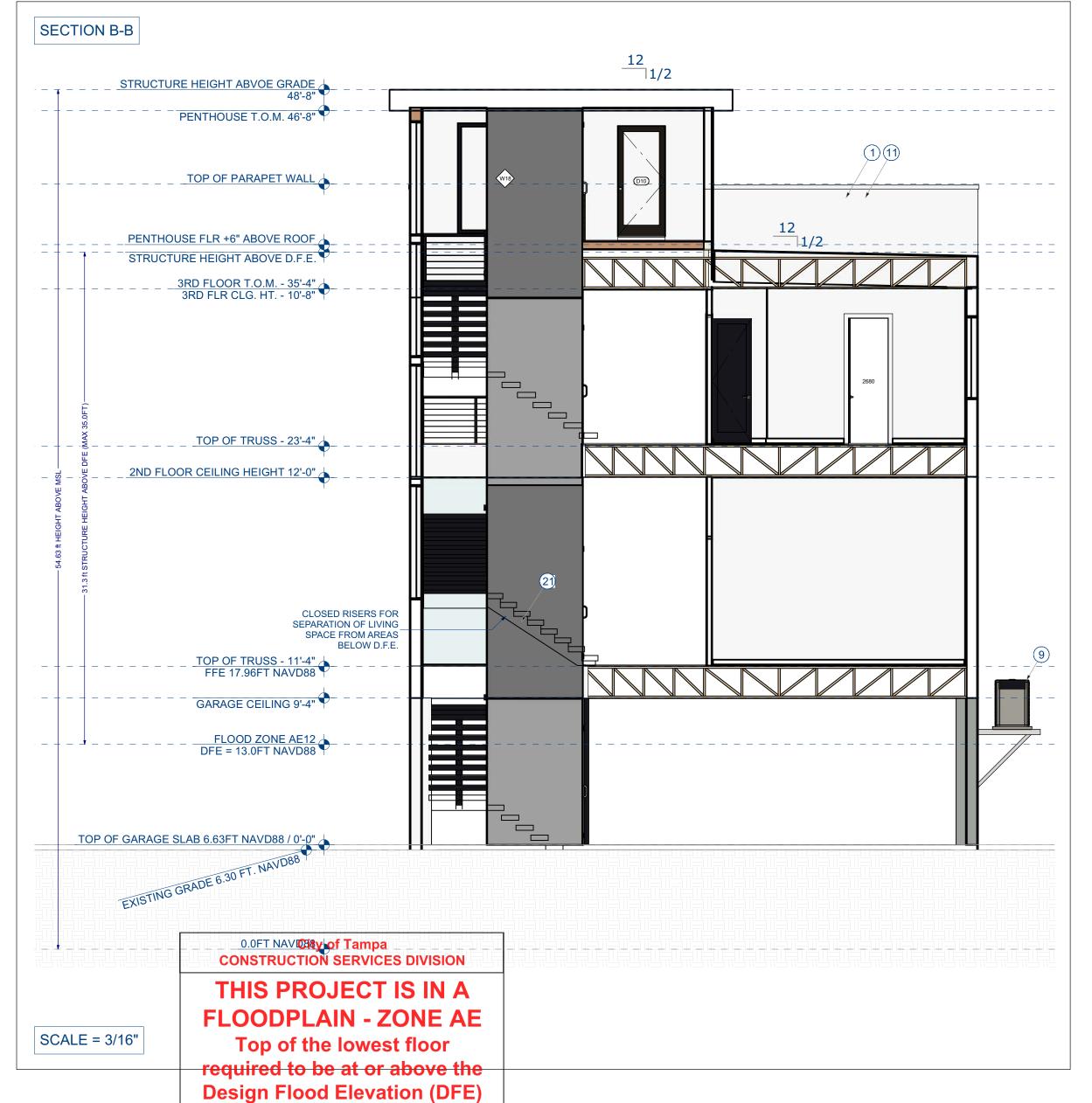
3/16"

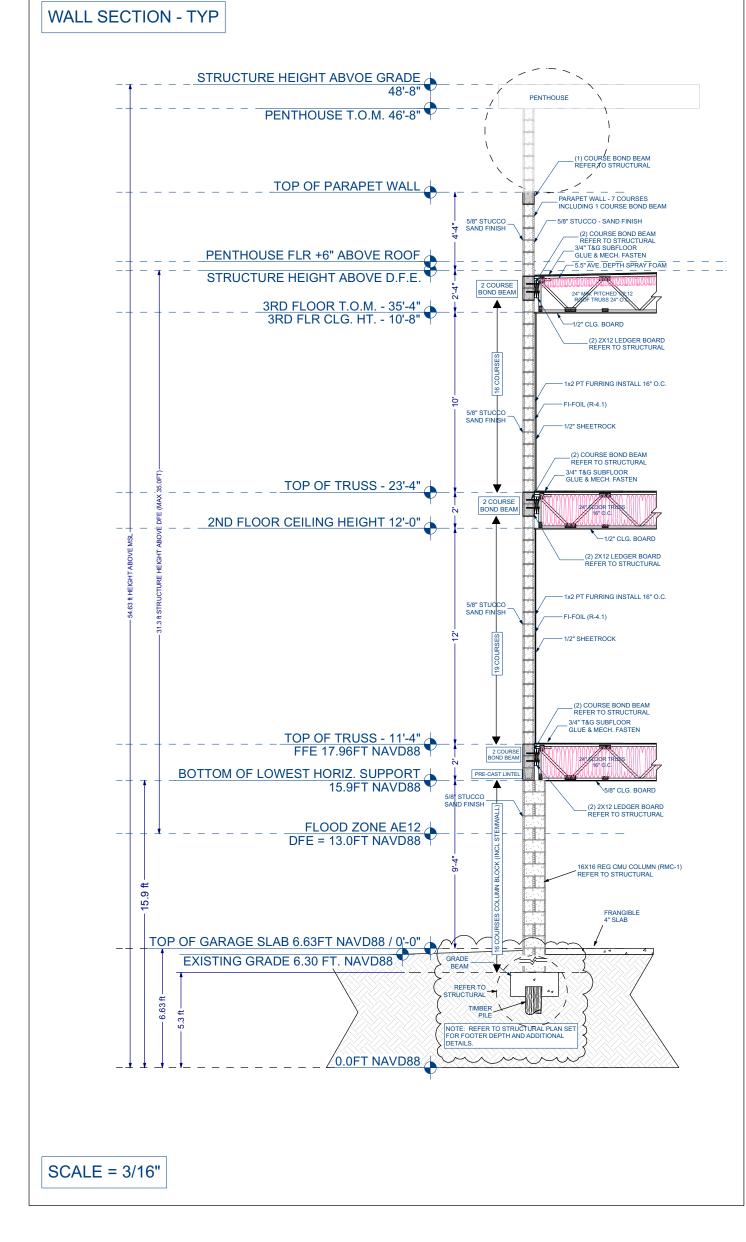
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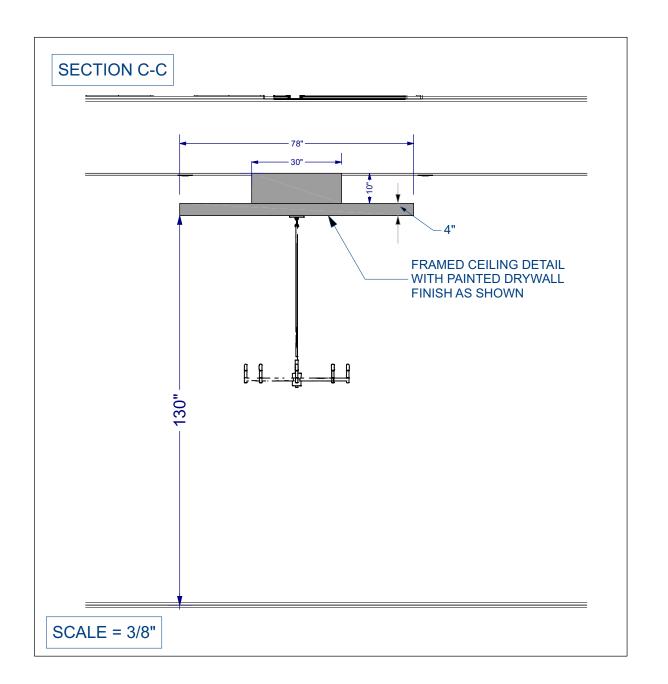
A-12

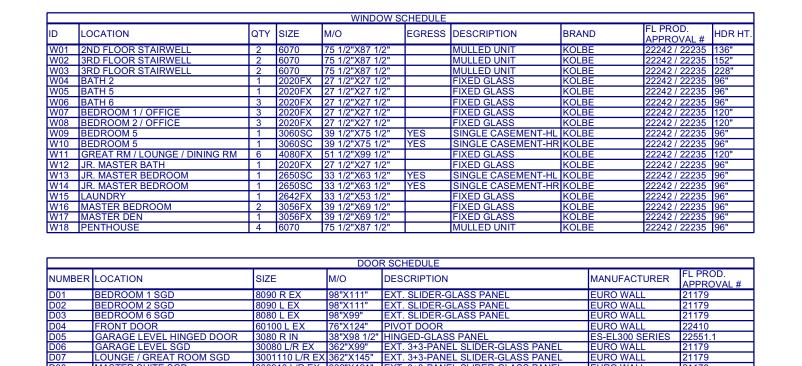
NOTE: D.F.E. = 13.0 FT NAVD 88 MINIMUM











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THE JOB AT ALL TIMES It is unlawful to make changes or alterations without written approva The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P. DEAN, P.E. ON [07.08.2022] USING A SHA-1 AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVIEWED FOR CODE COMPLIANCE

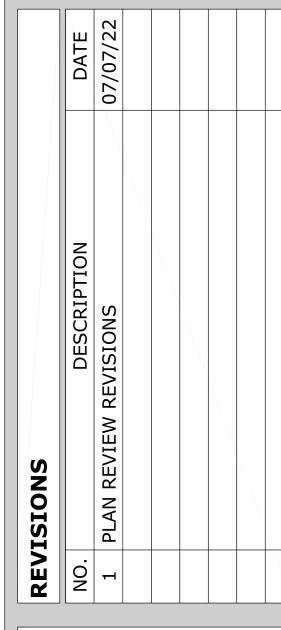
DESIGN/BUILD FIRM

LUXURY HOME BUILDERS 100 MAIN ST SUITE 200 SAFETY HARBOR, FL 34695

CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

SECTION **DETAILS**

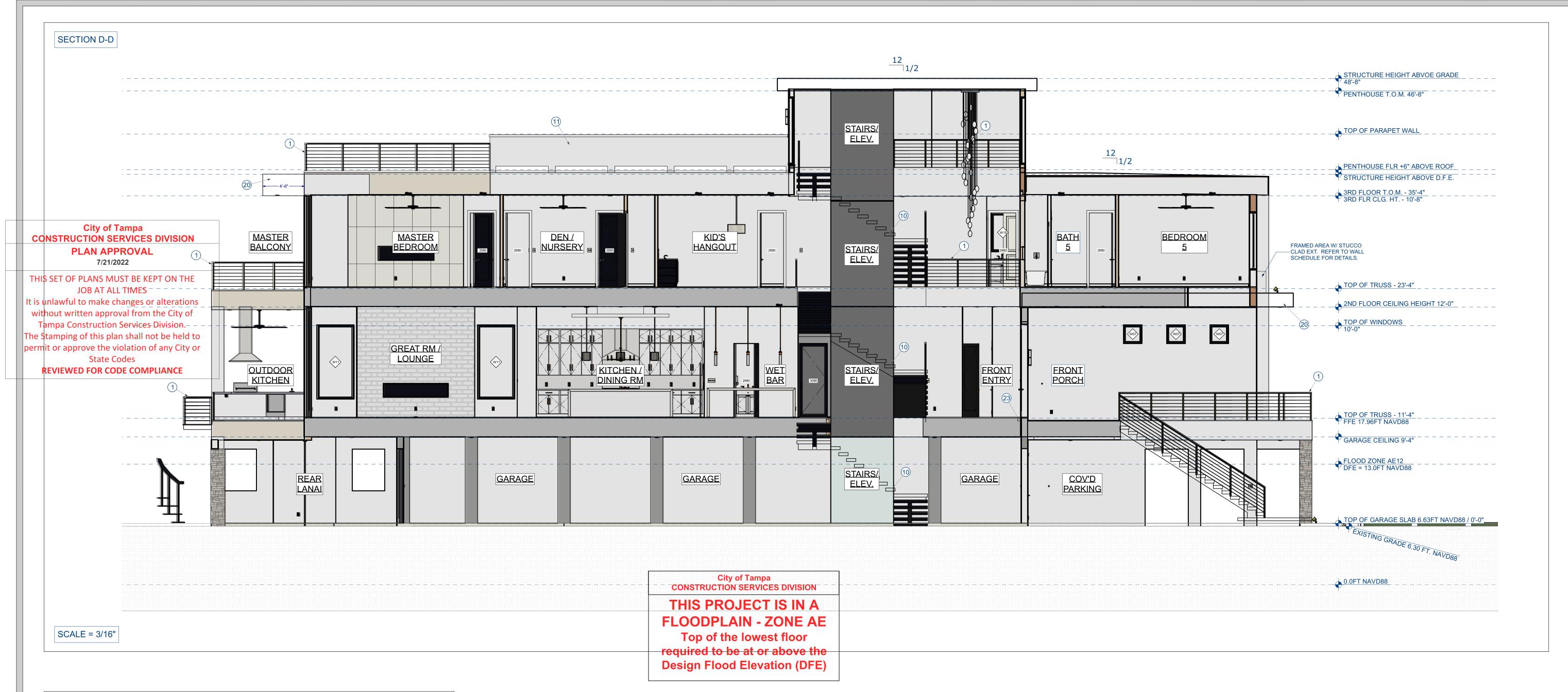
PERMIT NUMBER

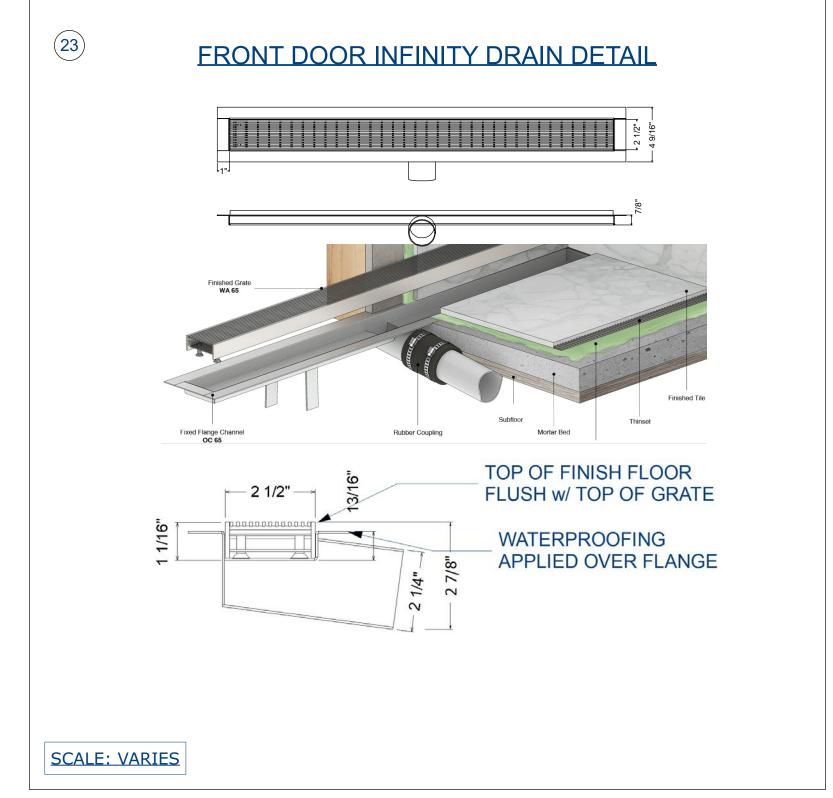
CITY OF TAMPA: BLD-22-0492973

SCALE:

AS SHOWN

SHEET:





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W04 BA	ATH 2	1	2020FX	27 1/2"X27 1/		FIXED GLASS	KOLB	_	22242 /	22235	96"
W05 BA	ATH 5	1	2020FX :	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E	22242 /	22235	96"
W06 BA	ATH 6	3	2020FX :	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E	22242 /	22235	96"
W07 BE	DROOM 1 / OFFICE	3	2020FX :	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E	22242 /	22235	120"
W08 BE	DROOM 2 / OFFICE	3	2020FX :	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E	22242 /	22235	120"
W09 BE	EDROOM 5	1	3060SC	39 1/2"X75 1/	2" YES	SINGLE CASEMENT-HL	KOLB	E	22242 /	22235	96"
W10 BE	EDROOM 5	1	3060SC	39 1/2"X75 1/	2" YES	SINGLE CASEMENT-HR			22242 /	22235	96"
W11 GF	REAT RM / LOUNGE / DINING RM	6	4080FX	51 1/2"X99 1/	2"	FIXED GLASS	KOLB	E	22242 /	22235	120"
W12 JR	R. MASTER BATH	1	2020FX :	27 1/2"X27 1/	2"	FIXED GLASS	KOLB	E	22242 /	22235	96"
W13 JR	R. MASTER BEDROOM	1	2650SC :	33 1/2"X63 1/	2" YES	SINGLE CASEMENT-HL	KOLB	E	22242 /	22235	96"
W14 JR	R. MASTER BEDROOM	1	2650SC	33 1/2"X63 1/	2" YES	SINGLE CASEMENT-HR	KOLB			22235	
W15 LA	UNDRY	1	2642FX	33 1/2"X53 1/	2"		KOLB		22242	22235	96"
1110 111	ASTER BEDROOM	2	3056FX	39 1/2"X69 1/	2"	FIXED GLASS	KOLB			22235	
W16 IM <i>F</i>				20 4/011//00 4/	0"		KOLB			22235	
	ASTER DEN	1	3056FX	39 1/2"X69 1/	Z	LIVED GLASS	INOLD	_			
W17 M/		4		75 1/2"X87 1/	2"		KOLB			22235	96"
W17 MA	ASTER DEN	4		75 1/2"X87 1/						22235	
W17 MA W18 PE	ASTER DEN	SIZE	6070	75 1/2"X87 1/	2"	MULLED UNIT	KOLB		22242 /		OD.
W17 MAW18 PE	ASTER DEN ENTHOUSE	SIZE	6070	75 1/2"X87 1/ DOOF M/O	R SCHEDULE DESCRIPTION	MULLED UNIT	KOLB	E	22242 / URER	22235 FL PR	OD.
W17 MAW18 PE	ASTER DEN ENTHOUSE LOCATION	SIZE	6070	DOOF M/O 98"X111"	R SCHEDULE DESCRIPTION EXT. SLIDER-	MULLED UNIT	KOLB	MANUFACTI	22242 / URER	FL PR	OD.
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W17 MA W18 PE NUMBER D01 D02 D03	ASTER DEN ENTHOUSE LOCATION BEDROOM 1 SGD BEDROOM 2 SGD	SIZE 8090 8090 8080	6070 60	DOOF M/O 98"X111" 98"X111" 98"X99"	R SCHEDULE DESCRIPTION EXT. SLIDER- EXT. SLIDER-	MULLED UNIT N GLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL	KOLB	MANUFACTI EURO WALL EURO WALL	22242 / URER -	FL PR APPR 21179 21179	OD.
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W17 MA W18 PE NUMBER D01 D02 D03 D04 D05 D06	LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR	SIZE 8090 8090 8080 6010 3080 3008	6070 60	DOOF M/O 98"X111" 98"X111" 98"X99" 76"X124" 38"X98 1/2" 362"X99"	2" R SCHEDULE DESCRIPTION EXT. SLIDER- EXT. SLIDER- EXT. SLIDER- PIVOT DOOR HINGED-GLAS EXT. 3+3-PAN	MULLED UNIT N GLASS PANEL GLASS PANEL GLASS PANEL SS PANEL	KOLB	MANUFACTI EURO WALL EURO WALL EURO WALL EURO WALL EURO WALL ES-EL300 SE	URER	FL PR APPR 21179 21179 21179 22410 22551	OD.
W17 MA W18 PE NUMBER D01 D02 D03 D04 D05 D06 D07	LOCATION BEDROOM 1 SGD BEDROOM 2 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD	SIZE 8090 8080 6010 3080 3008	0 R EX 0 L EX 0 L EX 0 L EX 0 D E EX 0 R IN	DOOF M/O 98"X111" 98"X111" 98"X99" 76"X124" 38"X98 1/2" 362"X99" 362"X145"	2" R SCHEDULE DESCRIPTION EXT. SLIDER- EXT. SLIDER- EXT. SLIDER- HINGED-GLAS EXT. 3+3-PAN EXT. 3+3-PAN	MULLED UNIT GLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL SS PANEL EL SLIDER-GLASS PANEL	KOLB	MANUFACTU EURO WALL EURO WALL EURO WALL EURO WALL ES-EL300 SE EURO WALL	URER ERIES	FL PR APPR 21179 21179 21179 22410 22551 21179	OD.
W17 MA W18 PE NUMBER D01 D02 D03 D04 D05 D06 D07	ASTER DEN ENTHOUSE LOCATION BEDROOM 1 SGD BEDROOM 6 SGD FRONT DOOR GARAGE LEVEL HINGED DOOR GARAGE LEVEL SGD LOUNGE / GREAT ROOM SGD	SIZE 8090 8080 6010 3080 3008	6070 0 R EX 0 L EX 0 L EX 0 D EX 0 D EX 0 OL FX 10 TR EX 110 L/R EX	75 1/2"X87 1/ DOOF M/O 98"X111" 98"X111" 98"X99" 76"X124" 38"X98 1/2" 362"X145" 362"X121"	2" R SCHEDULE DESCRIPTION EXT. SLIDER- EXT. SLIDER- EXT. SLIDER- PIVOT DOOR HINGED-GLAS EXT. 3+3-PAN EXT. 3+3-PAN EXT. 3+3-PAN	MULLED UNIT GLASS PANEL GLASS PANEL GLASS PANEL GLASS PANEL EL SLIDER-GLASS PANEL EL SLIDER-GLASS PANEL	KOLB	MANUFACTU EURO WALL EURO WALL EURO WALL EURO WALL ES-EL300 SE EURO WALL EURO WALL EURO WALL	URER ERIES	FL PR APPR(21179 21179 221179 22410 22551 21179 21179	OD.

EGRESS DESCRIPTION

QTY SIZE M/O

ID LOCATION

	NOTE SCHEDULE
1	ALL RAILINGS & BALCONY WALLS TO COMPLY WITH FBC R312 GUARDING REQUIREMENTS. MUST BE 36MIN. AFF.
2	ROOM HAS NO CLOSET, BY CODE IS NOT TO BE INTENDED TO BE A SLEEPING ROOM, AS SUCH NO EGRESS WINDOWS ARE REQUIRED. PROVIDE SMOKE DETECTOR WITHIN ROOM REGARDLESS.
3	ALL MEPS MUST BE MOUNTED ONLY ON PERMANENT SUPPORT STRUCTURE, NOT ATTACHED TO BREAK-AWAY WALLS, NOR ALLOWED TO PASS THROUGH BREAK-AWAY WALLS, SUCH AS PIPING OR CONDUIT, SO AS TO IMPEDE THE BREAK-AWAY FUNCTION.
4	CAST IN PLACE CONCRETE FLOOR STRUCTURE, REFER TO STRUCTURAL PLAN SET FOR DETAILS.
(5)	CMU BALCONY RAILING WALL, 36" MIN. A.F.F. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS.
6	CMU WALL COLUMN WITH TILE/STONE FINISH APPLIED OVER WATER PROOFING APPLIED TO CMU.
7	FLOOD VENT: SMARTVENT FL PA #5822.3 (MODEL #1540-520). RATED FOR 200 SQ. FT. PER VENT. MUST BE INSTALLED ON AT LEAST 2 DIFFERENT WALLS OF EACH ENCLOSURE BELOW DFE. CENTER VENTS ALONG WALLS AS SHOWN.
8	GARAGE CEILINGS UNDER LIVING SPACE SHALL REQUIRE MINIMUM 5/8", "TYPE X" DRYWALL FINISH FOR FIRE RATING.
9	HVAC WALL BRACKET. CONDENSER LOCATED AT OR ABOVE DFE MIN.
10	MONO STEEL STRINGER STAIR WITH OPEN RISER. ALL STAIRS & LANDINGS MUST COMPLY WITH FBC - R311.7. EXT STAIRS MUST UTILIZE EXTERIOR RATED MATERIALS.
(1)	PARAPET WALL WITH WALL CAP. REFER TO WALL SCHEDULE FOR ADDITIONAL DETAILS PERTAINING TO PARAPET WALL.
(12)	PER FBC R302.5.1 – DWELLING-GARAGE OPENING PROTECTION, OPENING PROTECTION: DOOR TO BE SOLID CORE, 1-3/8" MINIMUM THICKNESS WITH A 20 MIN. FIRE RATING AND A SELF CLOSING DEVICE.
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ENGINEER SEAL

THIS SET OF PLANS MUST BE KEPT ON
THE JOB AT ALL TIMES
It is unlawful to make changes or
alterations without written approval
from the City of Tampa Construction
Services Division.
The Stamping of this plan shall not be
held to permit or approve the violation
of any City or State Codes

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SAMUEL P.
DEAN, P.E. ON [07.08.2022] USING A SHA-1 AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

REVIEWED FOR CODE COMPLIANCE

DESIGN/BUILD FIRM

BOSS MENNIE

LUXURY HOME BUILDERS

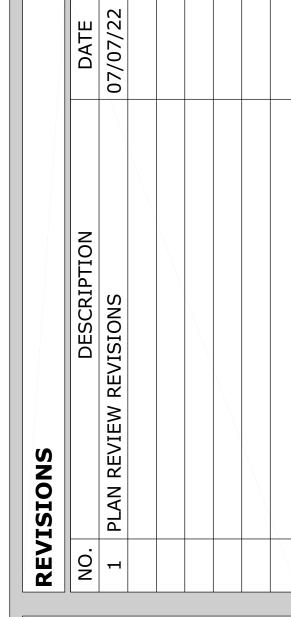
100 MAIN ST SUITE 200

SAFETY HARBOR EL 34695

SAFETY HARBOR, FL 34695 CGC 1256191

PROJECT ADDRESS

PRIVATE RESIDENCE 34 ADALIA AVE. TAMPA, FL 33606



PAGE DESCRIPTION

SECTION DETAILS

PERMIT NUMBER

CITY OF TAMPA: BLD-22-0492973

SCALE:

AS SHOWN

SHEET:

DESIGN CRITERIA ALL CONSTRUCTION IS DESIGNED AS FOLLOWS: FLORIDA BUILDING CODE 7TH EDITION 2020 AS FOLLOWED BELOW: FBC. BUILDING-2020 FBC, RESIDENTIAL-2020 ROOF RAIN INTENSITY 3.96 IN/HF ASCE 7-16, 141 PH WIND (ULTIMATE), 110 MPH (NOMINAL) BUILDINGS OF ALL HEIGHTS ANALYTICAL METHOD RISK CATEGORY II EXPOSURE CATEGORY "D" ROOF SLOPE: 1/2:12 INTERNAL PRESSURE COEFFICIENTS: GCpi = +/- .18, ENCLOSED STRUCTURE BASIC WIND PRESSURE: q= 54.7 P.S.F. (C&C) EDGE DISTANCE: a= 3.6 FT. OAD CASE 1: 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION LOAD CASE 2-50 PLF APPLIED HORIZONTALLY ALONG TOP GUARDRAIL AND A SIMULTANEOUS LOAD OF 100 PLF APPLIED YER TICKELY APONG TOP GUARDRAIL CONSTRUCTION SERVICES DIVISION STRENGTH OF MATERIALS: PLAN APPROVAL REINFORCING STEEL CONCRETE SLAB, BEAMS AND FOOTINGS = 60.000 psi $f_{c}' = 3,000 \text{ psi}$ $f'_{\rm m} = 1.500 \, \text{ps}$ MESTORY PROUTS MUST-BE-KEPT-ON-THE---- $f_c = 3.000 \text{ ps}$ $S_{b} = 2,000 \text{ psf}$ BOLTS FOR WOOD CONNECTIONS Or alterations A325 A490 :hout written approval from the City of |F_b = 2850, 2.0E arenta Tring Piarthragm (ROOF, ZONE ZONS) sion 19/32 APA RATED SHEATHING UNBLOCKED PANEL DIAPHRAGM ---------- ALLOWABLE SHEAR = 300 LBS. PER FOOT Stamping enotivis plans straction to be lateral, edges, cuts and

nit or approve the violation of any City or SHEATHING DIAPHRAGM (ROOF ZONE 1) ---- 19/32 APA RATED SHEATHING

UNBLOCKED PANEL DIAPHRAGM ------ ALLOWABLE SHEAR = 300 LBS. PER FOOT REVIETATE FORMED MAIS SPACEU @ 61 O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS, AND @ 6" O.C. AT INTERIOR SUPPORTS.

SHEATHING DIAPHRAGM (WALLS) ----- 15/32 APA RATED SHEATHING BLOCKED PANEL DIAPHRAGM ------ ALLOWABLE SHEAR = 310 LBS. PER FOOT 10d DEFORMED NAILS SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS, AND @ 12" O.C. AT INTERIOR SUPPORTS.

SHEATHING DIAPHRAGM (WALLS) ----- 5/8 GYPSUM BOARD BLOCKED PANEL DIAPHRAGM ------ ALLOWABLE SHEAR = 145 LBS. PER FOOT 6d COOLER NAILS SPACED @ 7" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS, AND @ 12" O.C. AT INTERIOR SUPPORTS.

DECK DIAPHRAGM (FLOORS) ----- 23/32 APA RATED SHEATHING UNBLOCKED PANEL DIAPHRAGM ------ ALLOWABLE SHEAR = 320 LBS. PER FOOT CONSTRUCTION ADHESIVE AND 10d DEFORMED NAILS SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS, AND @ 12" O.C. AT INTERIOR SUPPORTS.

BENERAL NOTES

- THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS. WHEN IN EXCESS O MINIMUM SPECIFICATION SHALL CONTROL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENT DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.
- AT CONSTRUCTION ISSUE, THESE DRAWINGS REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, BRACING, METHODS SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR DOING THE WORK.
- VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL DOCUMENTS AND PROPERLY COORDINATED, APPROVED SHOP DRAWINGS
- DESIGN FOR WATERPROOFING OR DAMPPROOFING. SPECIFIC DESIGN FOR MOISTURE CONTROL AND PERMANENT PROTECTION OF STRUCTURAL MATERIALS FROM THE ELEMENTS IS TO BE COMPLETED BY OTHERS AND COORDINATED WITH THE STRUCTURAL DOCUMENTS.

CONTRACTOR RESPONSIBILITIES:

- CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS INCLUDING ANY REVISIONS BEFORE STARTING CONSTRUCTION.
- IT IS ASSUMED THAT THE CONTRACTOR HAS READ AND UNDERSTANDS THE NOTES, SPECIFICATIONS AND DESIGN INTENT CONTAINED HEREIN.
- THE CONTRACTOR SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK.
- THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER OF RECORD.
- CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING SHALL IMMEDIATELY NOTIFY THE S.E.O.R.. THE S.E.O.R. WILL RESOLVE THE CONDITION AND ISSUE A WRITTEN CLARIFICATION.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER OF RECORD IN WRITING PRIOR TO PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS/DIMENSIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.
-). THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM.
-). IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO INSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS WORK INCLUDES THE ADDITION OF NECESSARY SHORING. SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS, WHEREVER, THE CONTRACTOR IS UNSURE OF THESE REQUIREMENTS, THE CONTRACTOR SHALL RETAIN A QUALIFIED
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. PRIOR TO COMPLETION. THE RESPONSIBILITY FOR STABILITY AND TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL SUPPLEMENT THE MINIMUM REQUIRED FOUNDATION AND SITE PREPARATION REQUIREMENTS, (INCLUDING SLAB ON GRADE THICKNESS), TO HANDLE CONSTRUCTION LOADS.

STATE LICENSED PROFESSIONAL ENGINEER TO DESIGN AND INSPECT THE TEMPORARY BRACING AND

- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION AND SHORING PROCEDURES AND PROTECTION OF ADJACENT PROPERTY, STREETS AND UTILITIES IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT
- 13. WHEN PERFORMING WORK BELOW GRADE, CARE SHALL BE TAKEN TO AVOID DAMAGING ANY EXISTING
- ALL UNKNOWN UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ANY DAMAGE TO THE EXISTING UTILITIES SHALL BE IMMEDIATELY REPORTED TO ALL AFFECTED PARTIES INCLUDING THE ARCHITECT

FOUNDATION NOTES

- FOOTINGS SHALL BEAR ON SOIL SUITABLE FOR SUPPORTING 2000 P.S. F. NET ALLOWABLE BEARING. IF QUESTIONABLE SOIL IS ENCOUNTERED, THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- FOOTINGS SHALL BE POURED IMMEDIATELY AFTER EXCAVATION.
- EXPANSION AND CONTROL JOINTS ARE TO BE PLACED PER A.C.I. RECOMMENDATIONS. PREPARE A CRACK CONTROL PLAN BASED ON CONSTRUCTION SEQUENCING AND PROPOSED ACTUAL FLOOR AND WALL FINISHES, AND SUBMIT TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. 3.1 NO CONTROL JOIN SHALL INTERSECT AN ADJACENT CONTROL JOINT AT AN ANGLE <90° 3.2 CONTROL JOINTS SHALL ONLY INTERSECT A CURB OR OTHER STRUCTURAL MEMBER AT ANGLE OF
- ALL REINFORCING STEEL MARKED "CONTINUOUS" SHALL BE LAPPED PER "REINFORCING STEEL SPLICE
- LAP TOP BARS AT CENTER OF SPAN; LAP BOTTOM BARS AT SUPPORTS, U.N.O.
- THERE SHALL BE NO PLUMBING LINES RUNNING PARALLEL TO, WITHIN OR UNDER ANY FOUNDATION BEAM PLACE A 10 MIL VAPOR RETARDER OF POLYETHYLENE UNDER ALL CONCRETE SLABS, U.N.O.
- ALL FOOTING BOTTOMS MUST BE PLACED A MINIMUM OF 12" BELOW FINISH GRADE.

- SITE WORK NOTES:
- 1. PERFORM EXCAVATION, ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES, TO THE LINES, GRADES, ELEVATIONS INDICATED ON THE DRAWINGS AND ACCORDING TO RECOMMENDATIONS FOUND IN SUB SURFACE REPORT BY GEOTECHNICAL ENGINEER.
- 2. ALL FILL UNDER SLABS AND FOUNDATIONS SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY (MODIFIED PROCTOR TEST) AT OPTIMUM MOISTURE CONTENT. A COMPACTION REPORT FROM QUALIFIED SOILS ENGINEER SHALL BE TAKEN AND SUBMITTED TO ENGINEER OF RECORD.
- 3. PROVIDE SOIL POISONING TO CONTROL TERMITES AS REQUIRED BY GOVERNING CODES.

MASONRY NOTES:

- 1. THE DESIGN AND CONSTRUCTION MUST CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES ACI530/ASCE 5, AND THE SPECIFICATIONS FOR MASONRY STRUCTURES ACI 530.1/ASCE 6,
- 2. VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL DOCUMENTS AND
- PROPERLY COORDINATED APPROVED SHOP DRAWINGS. 3. EXPANSION AND CONTROL JOINTS ARE TO BE PLACED PER A.C.I. RECOMMENDATIONS. PREPARE A CRACK

FINISHES, AND SUBMIT TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

4. THE MASONRY CONTRACTOR MUST EMPLOY A CERTIFIED STRUCTURAL MASONRY INSPECTOR. THE INSPECTOR MUST BE IN ATTENDANCE AND MONITOR ALL REINFORCED MASONRY OPERATIONS INCLUDING DOWEL PLACEMENT. PROVIDE DAILY REPORTS TO THE ENGINEER OF RECORD.

CONTROL PLAN BASED ON CONSTRUCTION SEQUENCING AND PROPOSED ACTUAL FLOOR AND WALL

- 5. PROVIDE 48 BAR DIAMETER MINIMUM LAP.
- 6. PROVIDE CONTINUOUS TRUSS TYPE OR LADDER TYPE #9 GAUGE GALVANIZED HORIZONTAL JOINT
- 7. ALL CMU TEMPORARILY OR PERMANENTLY RESISTING SOIL SHALL BE FULLY GROUT FILLED.
- 8. ALL KNOCK OUT BLOCK HORIZONTAL BARS MUST HAVE CORNER CONTINUITY BARS AT ALL CORNERS AND
- 9. ALL INTERSECTING WALLS AND CORNER WALLS MUST BE LAID IN AN OVERLAPPING MASONRY BONDING

WALL INTERSECTIONS. SIZE AND NUMBER CORNER BARS MUST BE SAME AS HORIZONTAL BARS.

CONCRETE NOTES AND SPECIFICATIONS:

- 1. ALL CONCRETE WORK SHALL CONFORM TO THE "A.C.I. BUILDING CODE", ACI 318 AND ACI 301, LATEST
- 2. DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 315-99, "ACI DETAILING MANUAL - 1999."
- 3. UNLESS OTHERWISE NOTED, ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60 (60,000 PSI YIELD). REINFORCING SHALL BE FREE FROM OIL, DIRT AND OTHER MATERIALS THAT WOULD REDUCE
- THE BOND WITH THE CONCRETE. 4. WELDED WIRE REINFORCING (WWR) SHALL CONFORM TO ASTM A-185. WELDING WIRE REINFORCING SHALL BE CHAIRED TO MAINTAIN THE REINFORCING AT ONE-THIRD THE DEPTH BELOW THE TOP SURFACE DURING CONCRETE PLACEMENT. SUPPORTS SHALL BE AT 2'-0" O.C. EACH WAY. LAP WELDED WIRE MESH ONE FULL
- 5. UNLESS OTHERWISE NOTED, CONCRETE PROTECTION FOR REINFORCING SHALL BE AS SPECIFIED IN THE "A.C.I. BUILDING CODE", (ACI 318 LATEST EDITION).
- 6. CONCRETE STRENGTH AND PROTECTION FOR REINFORCEMENT OF POURED-IN-PLACE MEMBERS; SEE SECTION 7.7 ACI 318 LATEST EDITION.

- A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.... CONCRETE EXPOSED TO EARTH OR WEATHER: B.1. NO. 6 THROUGH NO. 18 BARS .. B.2. NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER .. C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
- C.1. SLABS, WALLS, JOISTS: C.1.1. NO. 14 AND NO. 18 BARS C.1.2. NO. 11 BAR AND SMALLER .. C.2. BEAMS, COLUMNS: C.2.1. PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS C.3. SHELLS, FOLDED PLATE MEMBERS: C.3.1. NO. 6 BAR AND LARGER ...
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE JOBSITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE CONCRETE SUPPLIER TO ENSURE A PUMPABLE AND WORKABLE MIX WITHOUT THE ADDITION OF WATER AT THE JOBSITE. THE USE OF PLASTICIZERS, RETARDANTS AND OTHER ADDITIVES SHALL BE AT THE OPTION OF THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER. FOLLOW THE RECOMMENDATIONS OF THE MANUFACTURER FOR THE PROPER USE OF ADDITIVES. THE USE OF CALCIUM CHLORIDE OR OTHER CHLORIDE BEARING SALTS SHALL NOT BE

C.3.2. NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER.

- 8. CONCRETE SLUMP TESTS SHALL BE MADE BEFORE AND AFTER THE ADDITION OF ADMIXTURES AND MAY BE TAKEN AT THE BACK OF THE TRUCK. CONCRETE FOR THE PREPARATION OF TEST CYLINDERS SHALL BE TAKEN FROM THE HOSE END FOR CONCRETE PLACED BY PUMP.
- 9. REINFORCING STEEL SPLICE NOTES:
- ALL REINFORCING STEEL SHALL BE SPLICED AS NOTED BELOW AND AS REQUIRED IN THE A.C.I. BUILDING CODE (LATEST EDITION). LD NOTED IN THE DETAILS AND TABLES BELOW IS THE STRAIGHT BAR DEVELOPMENT LENGTH PER
- 9.1.2. CLASS B LAP SPLICE TABLE SHALL BE USED FOR ALL LAP SPLICES AND BAR DEVELOPMENT LINEESS NOTED OTHERWISE
- ALL REINFORCING STEEL MARKED "CONTINUOUS" SHALL BE LAPPED WITH A CLASS B LAP SPLICE AND AROUND CORNERS OR INTERSECTIONS WITH A STANDARD 90 DEGREE HOOK.
- SPLICE TOP BARS AT CENTER OF SPAN, SPLICE BOTTOM BARS AT SUPPORTS WITH CLASS B LAP
- SPLICE ALL VERTICAL BARS IN COLUMNS AND VERTICAL AND HORIZONTAL BARS IN SHEAR WALLS
- LAP SPLICES FOR #14 AND LARGER BARS SHALL BE MADE WITH MECHANICAL COUPLERS TO DEVELOP 125% OF THE BARS CAPACITY

WITH A CLASS B LAP SPLICE UNLESS NOTED OTHERWISE.

- INCREASE DEVELOPMENT LENGTH SHOWN IN TABLES BELOW BY 1.25 FOR 75 KSI STEEL INCREASE DEVELOPMENT LENGTH SHOWN IN TABLES BELOW BY 1.50 FOR EPOXY COATED BARS. INCREASE DEVELOPMENT LENGTH SHOWN IN TABLES BELOW BY 1.30 IF BAR IS TO BE USED AS A 9.1.9.
- TOP BAR IN A BEAM OR SLAB WITH 12" OF FRESH CONCRETE BELOW THE BAR. THE FOLLOWING TABLES ASSUME ONE OF THE BELOW CONDITIONS, PER ACI, ARE MET: CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED IS NOT LESS THAN db, CLEAR
- COVER NOT LESS THAN db AND STIRRUPS OR TIES THROUGHOUT Ld NOT LESS THAN CODE CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED NOT LESS THAN 2 db AND CLEAR
- COVER NOT LESS THAN db. ALL HOOKED REINFORCING STEEL SHALL BE AS NOTED BELOW AND AS REQUIRED IN THE A.C.I. BUILDING CODE (LATEST EDITION).
- Lhb NOTED IN THE SCHEDULE BELOW IS THE BASIC TENSION DEVELOPMENT LENGTH FOR STANDARD A.C.I. HOOKS, MEASURED FROM THE CRITICAL SECTION TO THE END OF THE HOOK.
- Ldh = 1.25*Lhb FOR 75 KSI STEEL Ldh = 1.2*Lhb FOR EPOXY COATED REINFORCING BARS.
- Ldh = Lhb UNLESS CONDITIONS NOTED IN B. OR C. ARE NEEDED AND SHALL NOT BE LESS THAN 6"
- OR 8 BAR DIAMETERS 10. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ANY OTHER
- ADDITIONAL SLEEVES, ANCHORS, VENT OPENINGS, ETC., NOT SHOWN ON STRUCTURAL PLANS THAT MIGHT 11. PLACE CONCRETE IN A MANNER SO AS TO PREVENT SEGREGATION OF THE MIX. DELAY FLOATING AND
- TROWELING OPERATIONS UNTIL CONCRETE HAS LOST SURFACE WATER SHEEN OR ALL FREE WATER. DO NOT SPRINKLE FREE CEMENT ON THE SLAB SURFACE. FINISHING OF SLAB SURFACES SHALL COMPLY WITH THE RECOMMENDATIONS OF ACI 302.1 AND 304.
- 12. PROVIDE 7 DAY CURING OF SLAB IMMEDIATELY AFTER FINISHING.
- 13. PROTECT THE CONCRETE SURFACE BETWEEN FINISHING OPERATIONS ON HOT, DRY DAYS OR ANY OTHER TIME THAT PLASTIC SHRINKAGE CRACKS COULD DEVELOP BY USING WET BURLAP, PLASTIC MEMBRANE OR FOGGING. PROTECT CONCRETE SLAB AT ALL TIMES FROM RAIN, HAIL OR OTHER INJURIOUS EFFECT. ANY AND ALL MATERIALS USED FOR CONCRETE PROTECTION SHALL BE CHECKED FOR COMPLIANCE WITH
- 14. RESHORING WHEN REQUIRED, TO EXTEND AT LEAST TWO FLOORS BELOW FLOOR SUPPORTING PROCEDURE TO BE SUBMITTED TO STRUCTURAL ENGINEER FOR APPROVAL
- 15. AN INDEPENDENT CERTIFIED TESTING LAB SHALL VERIFY AND PROVIDE REPORTS CERTIFYING THE FOLLOWING: 15.0.1. CONCRETE PLANT BATCH TICKETS FOR EACH TRUCK VERIFY THAT THE CONCRETE MATCHES THE
- APPROVED DESIGN MIX. CONCRETE SLUMP IS IN ACCORDANCE WITH APPROVED DESIGN MIX CONCRETE PLACEMENT OPERATIONS ARE IN ACCORDANCE WITH ACI SPECIFICATIONS.
- CONTROL JOINTS ARE INSTALLED WITHIN THE ACI TIME ALLOWANCE. FALSEWORK (OR GROUND FLOOR), LAYOUT AND PROPER CURING METHODS ARE BEING UTILIZED.
- 16. NO CONCRETE SHALL BE PLACED OUTSIDE OF THESE SPECIFICATIONS WITHOUT THE OWNER'S PRIOR APPROVAL. DISCREPANCIES WITH THE OUTLINED SPECIFICATION SHALL BE REPORTED TO THE OWNER AND STRUCTURAL ENGINEER WITHIN 24 HOURS

POST-INSTALLED ANCHOR NOTES

- 1. POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE CONSTRUCTION
- 2. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER-OF-RECORD PRIOR TO R REVIEW AND PERMIT. NOT FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND THE BUILDING OFFICIAL. THEN MUST BE MARINED ALPHNOVED STOKE TO ALPHNOVE

- SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER-OF-RECORD ALONG WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER. THE CALCULATIONS SHALL DEMONSTRATE THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERTINENT EQUIVALENT PERFORMANCE VALUES (MINIMUM) OF THE SPECIFIED PRODUCT USING THE APPROPRIATE DESIGN PROCEDURE AND/OR STANDARD(S) AS REQUIRED BY THE BUILDING CODE.
- 4. CARE SHALL BE TAKEN IN PLACING POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING
- 5. HOLES SHALL BE DRILLED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN
- 6. PROVIDE CONTINUOUS SPECIAL INSPECTION FOR ALL MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE EVALUATION REPORT.
- CONTACT MANUFACTURER'S REPRESENTATIVE FOR THE INITIAL TRAINING AND INSTALLATION OF ANCHORS AND FOR PRODUCT RELATED QUESTIONS AND AVAILABILITY.

WOOD FRAMING NOTES:

- VERIFY SHEATHING TYPE AND THICKNESS WITH ROOF MATERIAL MANUFACTURER'S REQUIREMENTS FOR WIND RESISTANCE ATTACHMENT.
- 2. PRE-ENGINEERED WOOD TRUSS ERECTOR IS REQUIRED TO HANDLE AND INSTALL TRUSSES PER MANUFACTURER'S INSTRUCTIONS. AS A MINIMUM, INSTALL BRACING IN ACCORDANCE WITH BCSI 1-03, AND LEAVE PERMANENTLY IN PLACE. MOVE TO OPPOSITE SIDE OF CHORD IF NECESSARY DUE TO INTERFERENCE WITH SHEATHING OR CEILING MATERIALS. TOP AND BOTTOM CHORD MEMBERS OR PRE-ENGINEERED TRUSS SYSTEM FOR THE COMPLETED STRUCTURE ARE INTENDED TO BE CONTINUOUSLY BRACED BY SHEATHING AND CEILING FINISHES. THE ROOF TRUSS SYSTEM IS NOT COMPLETE UNTIL ALL BRACING, SHEATHING AND FINISHES ARE PERMANENTLY ATTACHED. SOLID BLOCKING IS REQUIRED AT ALL EVES, EDGES, VALLEYS, RIDGES AND TRANSITIONS.
- ENGINEER MUST REVIEW AND APPROVE TRUSS SHOP DRAWINGS PRIOR TO FABRICATION. TRUSS ATTACHMENT HARDWARE MAY BE MODIFIED IF REQUIRED.
- 4. ALL TRUSS TO TRUSS AND OVER FRAMING CONNECTIONS ARE TO BE SPECIFIED BY TRUSS
- 5. ALL CONNECTORS AND FASTENERS THROUGH OR ADJACENT TO PRESERVATIVE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED, STAINLESS STEEL OR SPECIFICALLY APPROVED FOR SUCH USAGE BY THE
- 6. ALL WOOD SUBJECT TO MOISTURE EXPOSURE OR ADJACENT TO CONCRETE OR MASONRY SHALL BE OF AN APPROVED NATURALLY DURABLE SPECIES OR PRESERVATIVE TREATED APPROPRIATELY FOR ITS
- ALL WOOD WHICH IS TO BE LEFT EXPOSED TO VIEW SHALL BE SELECTED FOR APPEARANCE AND PROPERLY PREPARED FOR FINISHES.
- THE CONTRACTOR SHALL REVIEW AND APPROVE THE TRUSS PLACEMENT PLAN AND EACH TRUSS DESIGN DRAWING FOR CONFORMANCE WITH THE REQUIREMENTS AND INTENT OF THE CONSTRUCTION DESIGN DOCUMENTS, AND THE EFFECT OF THE TRUSS PLACEMENT PLAN AND EACH TRUSS DRAWING ON OTHER TRADES INVOLVED IN THE CONSTRUCTION OF THE STRUCTURE AND THE EFFECT OF THE OTHER TRADES ON THE TRUSSES
- 9. TRUSSES SHALL BE SHIPPED AND STORED IN SUCH A WAY AS TO PREVENT DAMAGE, WARPING AND PROLONGED EXPOSURE TO WEATHER ELEMENTS THAT CAN REDUCE THE STRUCTURAL INTEGRITY OF THE
- 10. ALL WOOD TRUSSES SHALL BE FASTENED TO THEIR SUPPORTS WITH APPROVED HURRICANE CLIPS OR STRAPS. ALL CONNECTION HARDWARE SHALL BE SUPPLIED BY SIMPSON STRONG-TIE CO OR APPROVED EQUIVALENT MANUFACTURER. ALL CONNECTION HARDWARE IS TO BE FULLY FASTENED PER MANUFACTURER REQUIREMENTS WITH THE MAXIMUM NUMBER AND SIZE OF NAILS, BOLTS AND SCREWS,
- 11. ALL WOOD NAILS SHALL MEET THE FOLLOWING MINIMUM DIMENSIONS U.N.O. SEE NAIL SIZE CHART.
- 12. TRUSSES WITH CLEAR SPANS OF 60' OR GREATER REQUIRE THAT THE OWNER CONTRACT WITH A REGISTERED DESIGN PROFESSIONAL FOR THE DESIGN OF THE TEMPORARY INSTALLATION RESTRAINT/BRACING AND THE PERMANENT INDIVIDUAL TRUSS MEMBER RESTRAINT/BRACING. OWNER SHALL ALSO CONTRACT WITH A REGISTERED DESIGN PROFESSIONAL TO PROVIDE SPECIAL INSPECTIONS TO ASSURE THAT THE TEMPORARY INSTALLATION RESTRAINT/BRACING AND THE PERMANENT INDIVIDUAL TRUSS MEMBER RESTRAINT/BRACING IS INSTALLED PROPERLY.

WOOD PRESERVATIVE TREATMENT REQUIREMENTS

- AWPA USE CATEGORY UC4B ALL WOOD USED FOR PERMANENT WOOD FOUNDATION OR REQUIRING HEAVY DUTY PROTECTION.
- AWPA USE CATEGORY UC4A RVICES DIVISION ALL WOOD IN CONTACT WITH OR WITHIN 8" OF THE GROUND
- THIS PROJECT IS IN A
- FLOODPLAIN ZONE AE

 AWPA USE CATEGORY UC3A THER WOOT THAT IS CHANGES IN FLOOD TO BE PRESERVATIVE TREATED OR OF A NATURALLY

- 1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
- CONDENSATE AND ROOF DOWN SPOUTS SHALL DISCHARGE 1'-0" AWAY FROM BUILDING SIDE WALLS.
- IRRIGATION/SPRINKLER SYSTEM INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDE WALLS. TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION THE DISTANCE BETWEEN WALL COVERING AND
- FINAL EARTH GRADE SHALL NOT BE LESS THAN 6". EXCEPTION: PAINT OR DECORATIVE CEMENTITIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION 1816.1.1
- SOIL DISTRIBUTED AFTER THE INITIAL TREATMENT SHALL BE RE-TREATED INCLUDING SPACES BOXED AND FORMED. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION 1816.1.2
- BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATIONS OF TRAPS, ETC., SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE THE SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION 2304.11
- MINIMUM 6 MIL RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION 2304.11.
- CONCRETE OVER POUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALLS. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION

AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE

- INCLUDING LANDSCAPING AND IRRIGATION ANY SOIL DISTRIBUTED AFTER THE VERTICAL BARRIER IS APPLIED. SHALL BE RETREATED. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION 2304.11.
- 12. ALL BUILDING ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT. IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION 2304.11.
- 13. A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." IN ACCORDANCE WITH FLORIDA BUILDING CODE 7th EDITION 2020 SECTION 2304.11.
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING, THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.
- 15. NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING

ASTM A500, GR B (Fy=42 KSI)

1. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS, UNLESS NOTES

STRUCTURAL STEEL

ROUND HSS

OTHERWISE ON PLAN: ROLLED W SHAPES ASTM A992, GRADE 50 ROLLED C & MC SHAPES ASTM A36 ASTM A36 ANGI FS

- ASTM A500, GR B (Fy=46 KSI) ASTM A53, GR B (Fy=35 KSI)
- . ALL SHOP AND FIELD WELDING SHALL CONFORM TO AWS STRUCTURAL WELDING CODE, ANSI/AWS D1.1, AND ALL WELDS SHALL BE PERFORMED USING E70XX U.N.O.
- 3. DESIGN CONNECTIONS FOR ALL BEAMS TO SUPPORT HALF OF THE UNIFORM CAPACITY SHOWN IN AISC "TABLES FOR ALLOWABLE LOADS ON BEAMS" FOR THE GIVEN SECTION AND SPAN UNLESS OTHERWISE
- 4. GROUT BELOW BASE PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 6000 PSI.
- 5. HOT-DIP GALVANIZE ALL STRUCTURAL STEEL ITEMS AND THEIR CONNECTIONS PERMANENTLY EXPOSED TO WEATHER AFTER FABRICATION. ALL FIELD AND ERECTION MARKS SHALL BE COVERED DURING FIELD
- 6. CUTS, HOLES, COPING, AND ALL OTHER MODIFICATIONS REQUIRED TO BE MADE FOR THE WORK OF OTHER TRADES SHALL BE SHOWN IN THE STRUCTURAL STEEL SHOP DRAWINGS, AND SHALL BE PERFORMED ONLY BY THE SHOP ISSUING SAID DRAWINGS, OR OTHER FACILITY APPROVED BY THE ENGINEER TO PERFORM SAID WORK. HOLES IN STRUCTURAL ELEMENTS SHALL BE REINFORCED AS REQUIRED BY THE ENGINEER.
- 7. CUTS, HOLES, COPING, AND ALL OTHER MODIFICATIONS TO STEEL MEMBERS IN THE FIELD IS NOT PERMITTED WITHOUT THE EXPLICIT APPROVAL OF THE ENGINEER.

- 1. THE GENERAL CONTRACTOR SHALL SUBMIT FOR ENGINEER REVIEW SHOP DRAWINGS FOR THE FOLLOWING
- 1.1. REINFORCING STEEL
- 1.2. CONCRETE MIX DESIGN 1.3. STRUCTURAL STEEL ERECTION DRAWINGS
- 1.4. METAL DECKS 1.5. OPEN WEB STEEL JOISTS (*)
- 1.6. STAIRS (*)

RECTANGULAR HSS

- 1.7. GUARD/HANDRAILS (*) 1.8 MASONRY PRODUCTS INCLUDING VERIFICATION OF fm AND CERTIFICATES FOR ALL OTHER MATERIALS. USED IN MASONRY CONSTRUCTION INDICATING THE COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- 1.9. EMBEDDED ITEMS (PLATES, ANGLES, BOLTS, ETC.) 1.10. ELEVATORS
- 1.11. PRE-ENGINEERED ALUMINUM CANOPY (*) 1.12. PRE-ENGINEERED FLOOR TRUSSES (*)
- 1.13. PRE-ENGINEERED ROOF TRUSSES (*) 1.14. TIE DOWN SYSTEM (*)
- 1.15. PROJECT SIGNAGE (*) 1.16. COLD FORMED STEEL (LIGHT GAUGE STEEL)
- 1.17. CONCRETE CONSTRUCTION JOINT LOCATION FOR ALL CONCRETE ELEMENTS 1.18. CONTROL JOINT LOCATIONS (CMU CONSTRUCTION)
- ALL ITEMS MARKED (*) SHALL HAVE SHOP DRAWINGS SIGNED, SEALED, AND DATED BY A REGISTERED ENGINEER IN THE STATE OF FLORIDA.

2. ALL SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR PRIOR TO

- SUBMITTAL TO THE ARCHITECT/ENGINEERING. DRAWINGS SUBMITTED WITHOUT REVIEW WILL BE 3. ALL SHOP DRAWINGS SHALL BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION. THE CONTRACTOR
- SHALL BE FIGURED INTO THE CONTRACTOR'S SCHEDULE BEFORE CONSTRUCTION BEGINS. 4. THE CONTRACT DOCUMENTS WILL GOVERN OVER THE SHOP DRAWINGS UNLESS OTHERWISE SPECIFIED IN

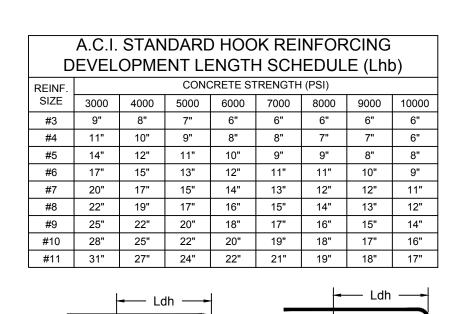
SHALL PLAN AND ALLOW (10) WORKING DAYS FOR APPROVAL FROM BELT ENGINEERING'S OFFICE. THIS

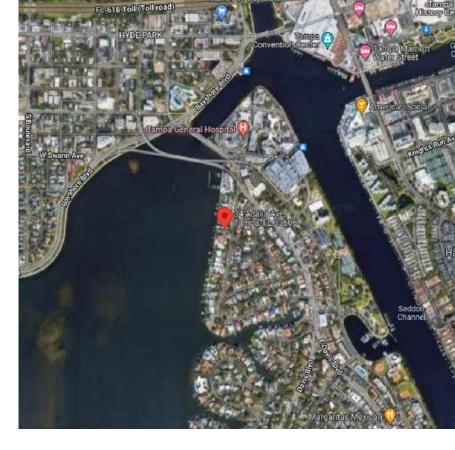
WRITING BY THE ENGINEER. 5. CHANGES AND ADDITIONS MADE ON THE RE-SUBMITTALS SHALL BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF RE-SUBMITTALS SHALL BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL.

ARCHITECT/ENGINEER REVIEW WILL BE LIMITED TO THOSE ITEMS CAUSING RE-SUBMITTAL.

6. SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY COMPLIANCE WITH THE CONTRACT DOCUMENTS AS TO QUANTITY, LENGTH, ELEVATIONS, DIMENSIONS,

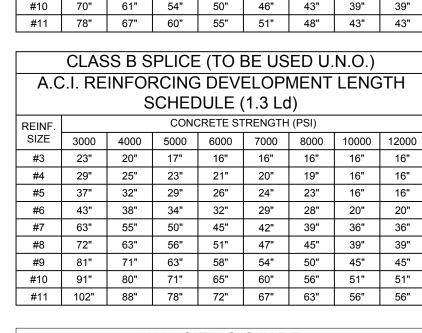
WOOD STUD TOE NAIL REQUIREMENTS							
WALL STUD SIZE	CAPACITY PER END (WIND LOAD)						
2x4	2	685 #'s					
2x6	3	1026 #'s					
2x8	4	1368 #'s					
2x10 5 1710#s							
2x12	6	2052 #'s					



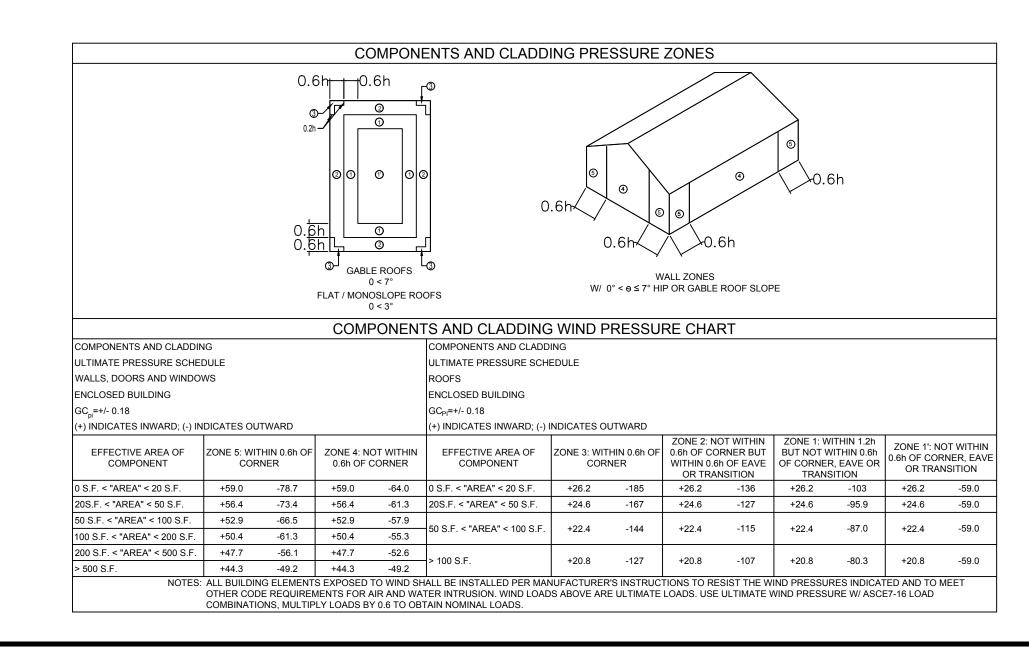


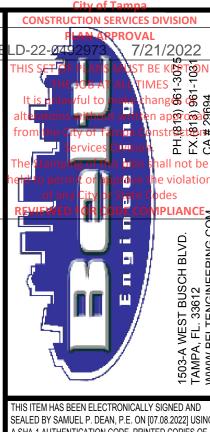


С	LASS	A SPI	LICE (USE C)NLY	F NO	TED (
			DR	AWIN	GS)		
A.C	C.I. RE	INFO	RCING	DEV	ELOP	MENT	LEN
			SCH	EDULE	E (Ld)		
REINF.			CON	CRETE ST	RENGTH	l (PSI)	
SIZE	3000	4000	5000	6000	7000	8000	10000
#3	17"	15"	13"	12"	12"	12"	12"
#4	22"	19"	17"	16"	15"	14"	12"
#5	28"	24"	22"	20"	18"	17"	12"
#6	33"	29"	26"	24"	22"	21"	15"
#7	48"	42"	38"	34"	32"	30"	27"
#8	55"	48"	43"	39"	36"	34"	30"
#9	62"	54"	48"	44"	41"	38"	34"
#10	70"	61"	54"	50"	46"	43"	39"
#11	78"	67"	60"	55"	51"	48"	43"



	NAIL SIZING CHART								
NAIL SIZE		SHANK DIAMETER	SHANK LENGTH	HEAD DIAMETER					
Penny Size	Guage	Nominal	Nominal	Apprx.					
2D	15	0.072	1"	<u>3</u> " 16					
	14	0.083	1"	<u>13</u> "					
3D	14	0.083	1.25"	<u>13</u> " 64					
4D	12	0.109	1.5"	<u>1</u> "					
5D	12	0.109	1.75"	<u>1</u> "					
6D	11	0.12	2"	<u>17</u> "					
8D	10	0.134	2.5"	<u>9</u> "					
10D	9	0.148	3"	<u>5</u> " 16"					
12D	9	0.148	3.25"	<u>5</u> " 16"					
16D	8	0.165	3.5"	<u>11</u> " 32"					
20D	6	0.203	4"	<u>13</u> " 32					
30D	5	0.22	4.5"	7." 16					
40D	4	0.238	5"	1 <u>5</u> " 32					
60D	4	0.238	6"	17 "					
·	2	0.284	6"	17" 32					





A SHA-1 AUTHENTICATION CODE PRINTED COPIES O HIS DOCUMENT ARE NOT CONSIDERED SIGNED ANI SEALED AND THE SHA-1 AUTHENTICATION CODE MU VERIFIED ON ANY ELECTRONIC COPIES.

No 83915 STATE OF . Digitally signed by Samuel P. Dean

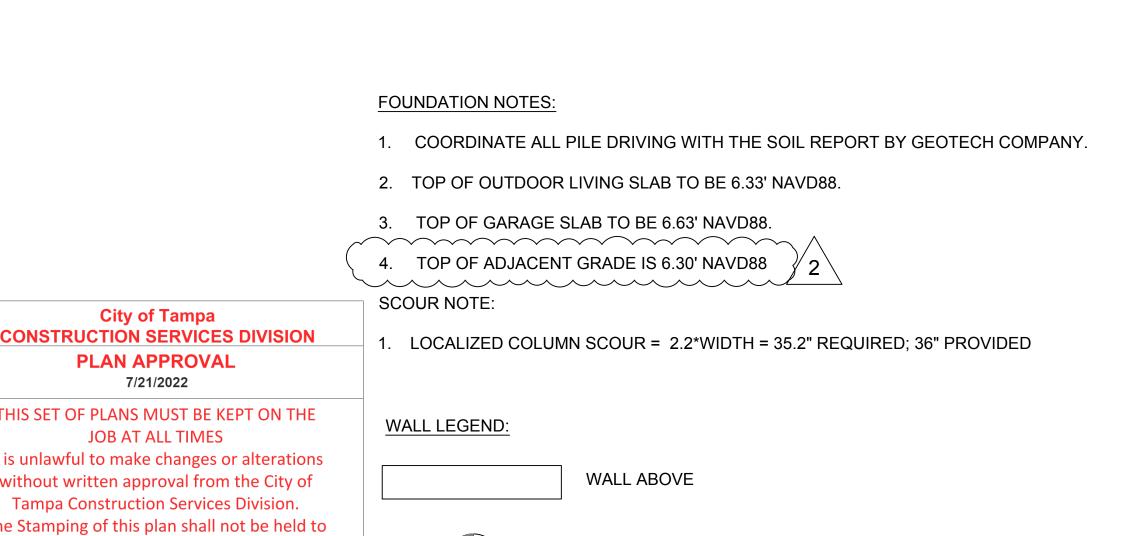
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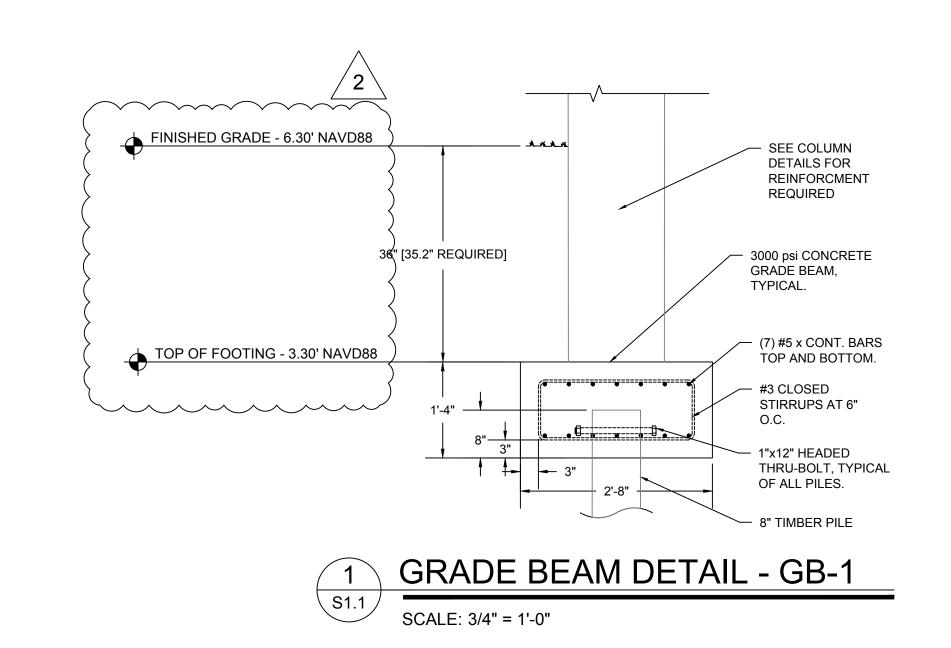
JOB NO. <u>ET22-0219</u> DRAWN KT DESIGN AZ CHECK SD

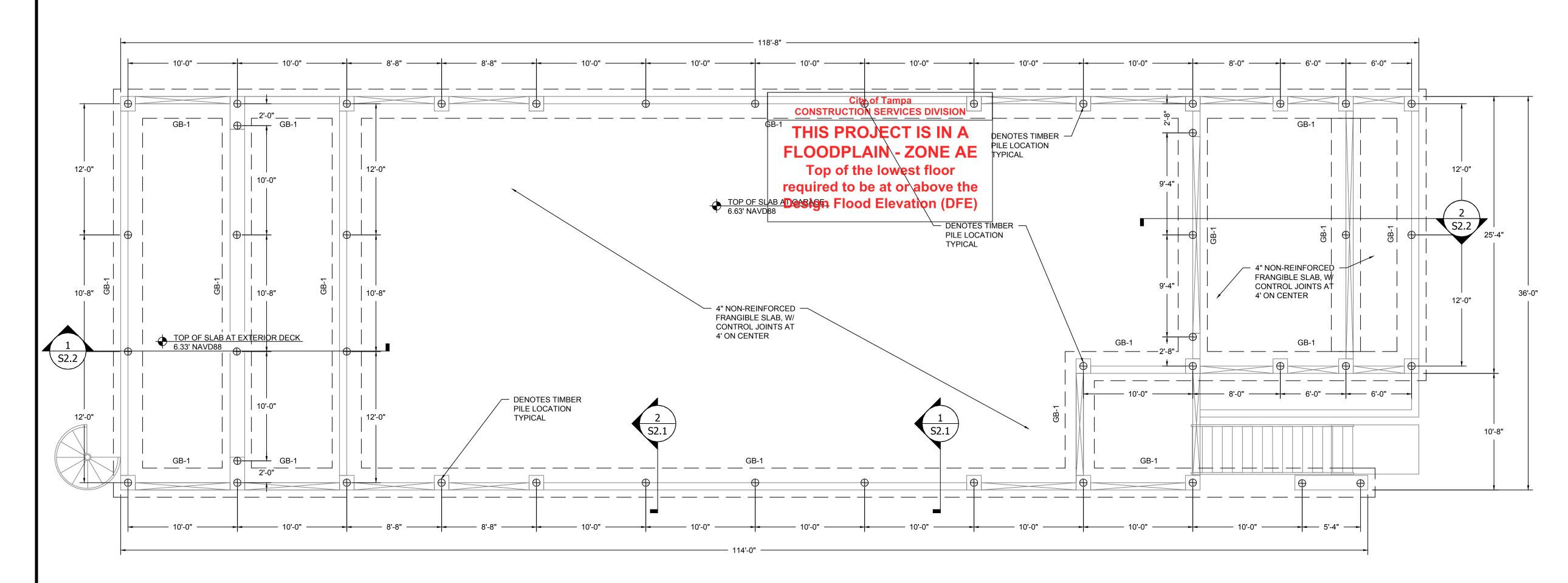
DESIGN CRITERIA

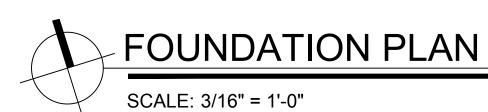
SPECIFICATIONS &



8" TIMBER PILE







City of Tampa

PLAN APPROVAL

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JOB AT ALL TIMES

ermit or approve the violation of any City or

State Codes REVIEWED FOR CODE COMPLIANCE

> DESIGN AZ CHECK SD

FOUNDATION PLAN

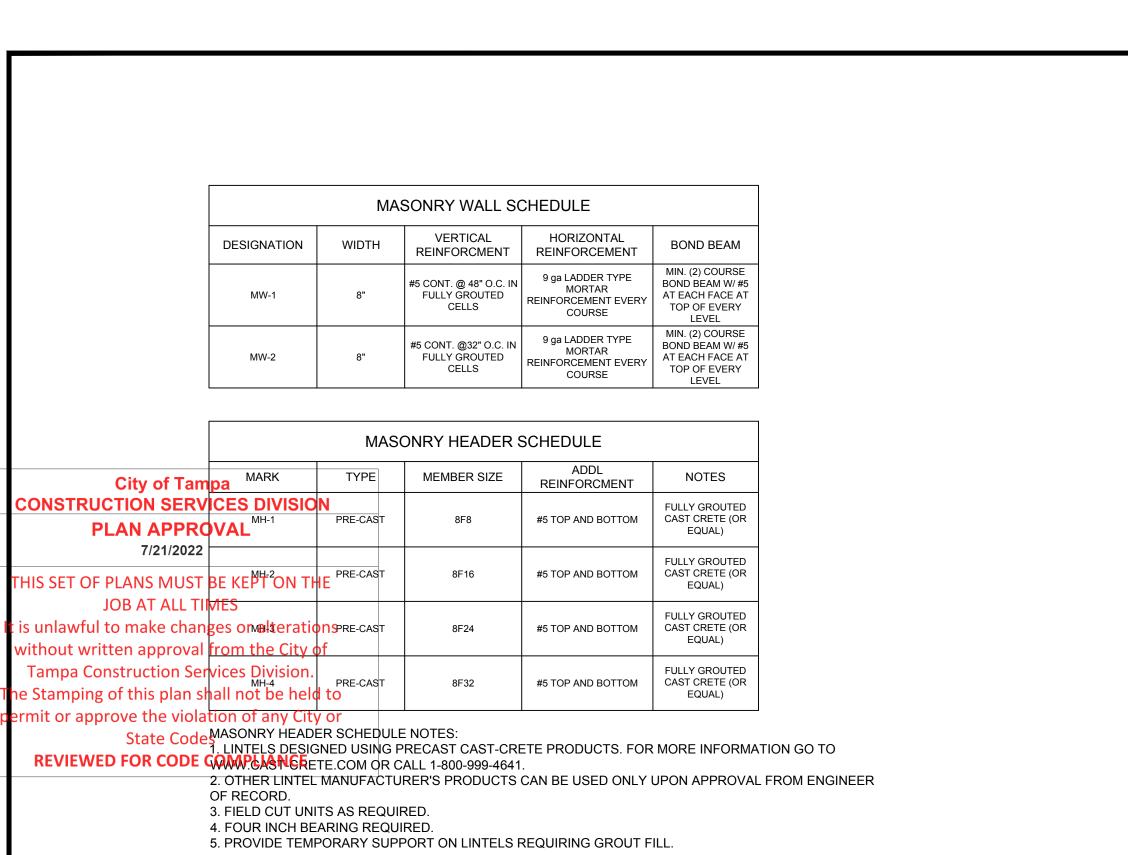
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R REVIEW AND PERMIT. NOT FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND THE BUILDING OFFICIAL. THEN MUST BE MARKED "APPROVED FOR CONSTRUCTION" BY THE ENGINEER.

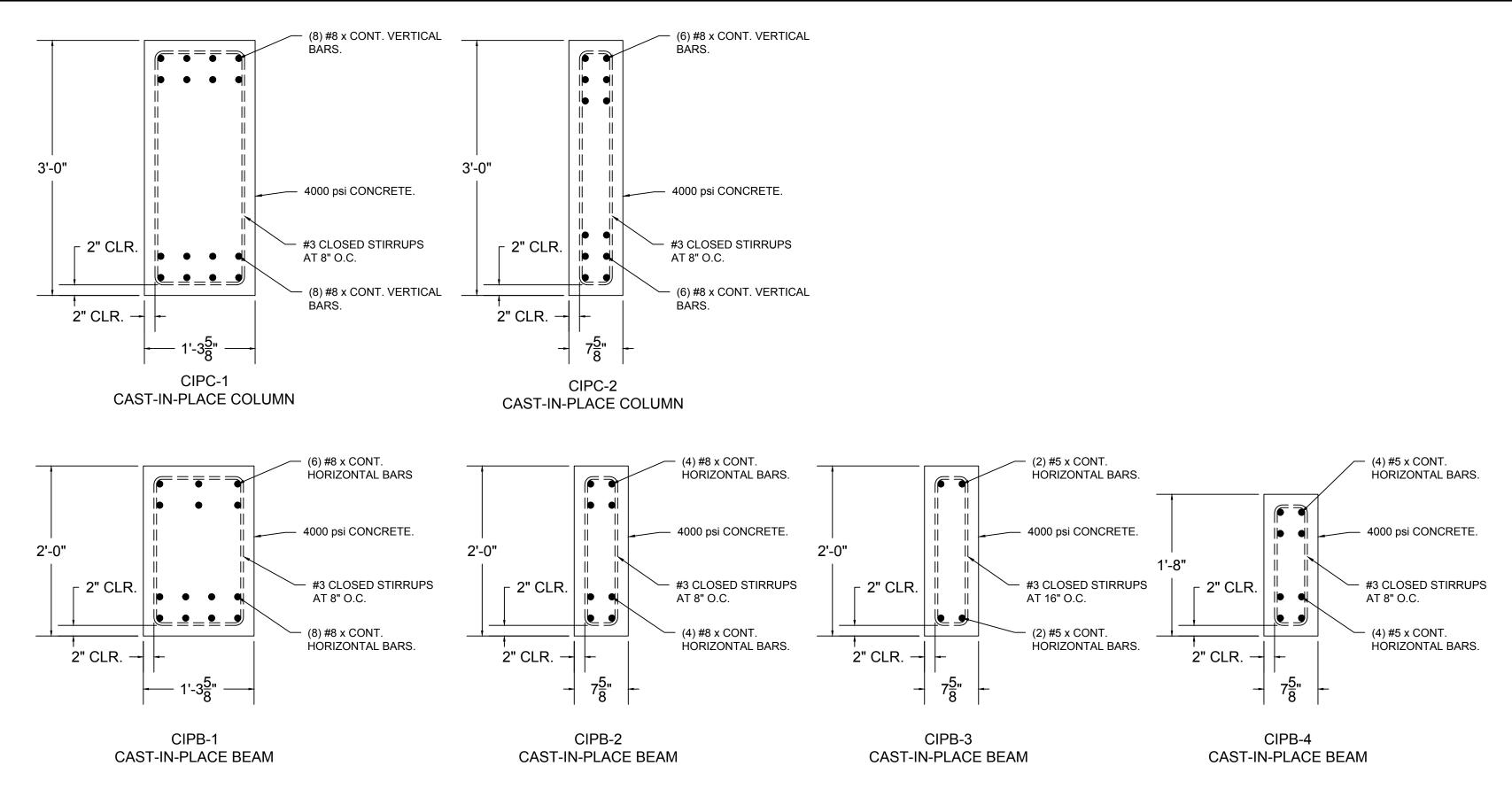
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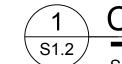
PROJECT INFORMATION:
DESIGN CRITERIA
NEW PRIVATE RESIDENCE
34 ADAILIA AVE
TAMPA, FL 33606

JOB NO. <u>ET22-0219</u> DRAWN <u>KT</u>



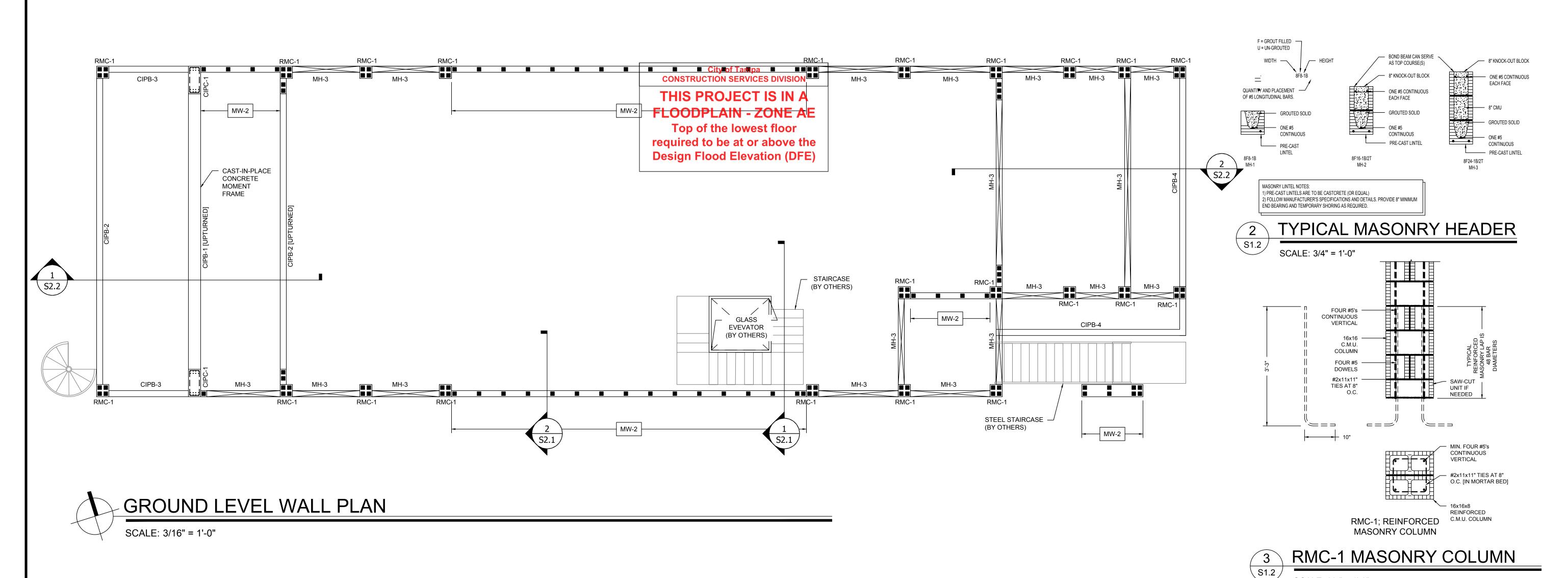
R REVIEW AND PERMIT. NOT FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND THE BUILDING OFFICIAL. THEN MUST BE MARKED "APPROVED FOR CONSTRUCTION" BY THE ENGINEER.





CAST IN PLACE DETAILS

SCALE: SCALE: 1" = 1'-0"



GROUND LEVEL WALL PLAN

INFORMATION: RITERIA

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PROJECTOESIGN (NEW PRISAMENTAMPA, FL 3360

JOB NO. <u>ET22-0219</u>

DESIGN AZ
CHECK SD

SCALE: 3/4" = 1'-0"

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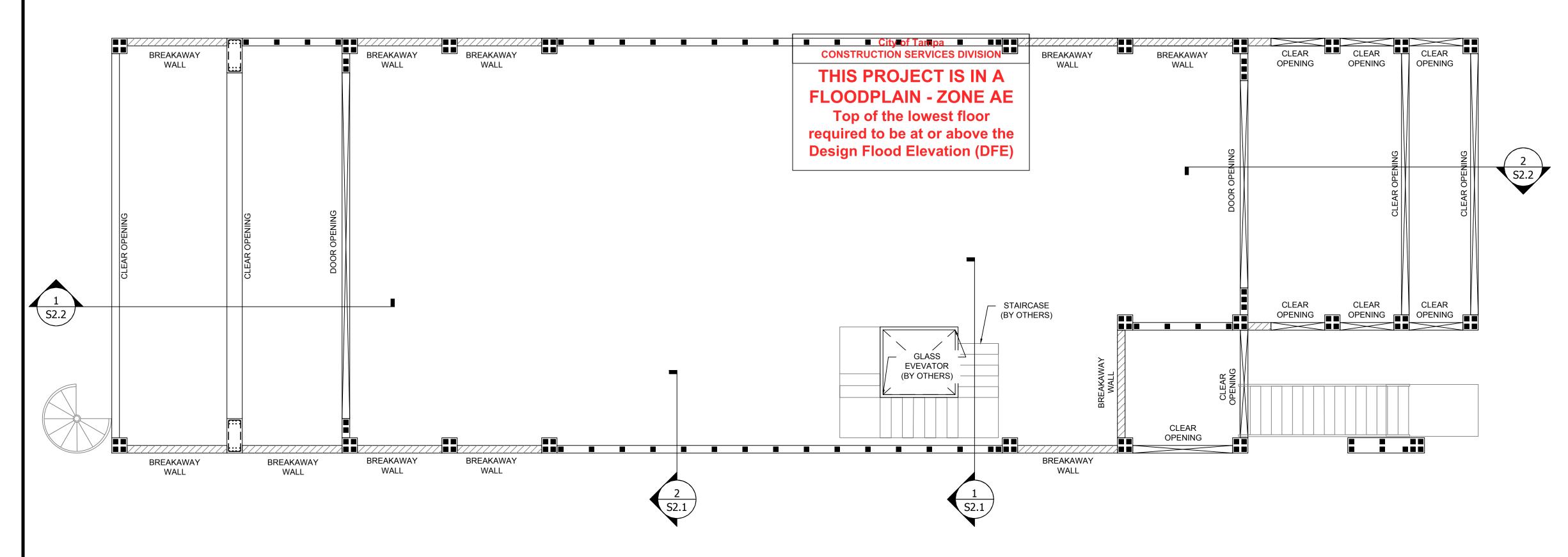
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BREAKAWAY WALL DETAIL - CMU

SCALE: 3/4" = 1'-0"





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7/21/2022

JOB AT ALL TIMES

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State Codes REVIEWED FOR CODE COMPLIANCE

> **GROUND LEVEL BREAKAWAY**

PROJECT DESIGN CF NEW PRIVA 34 ADAILIA AVE TAMPA, FL 33606

WALL PLAN

TINFORMATION:
CRITERIA
VATE RESIDENCE

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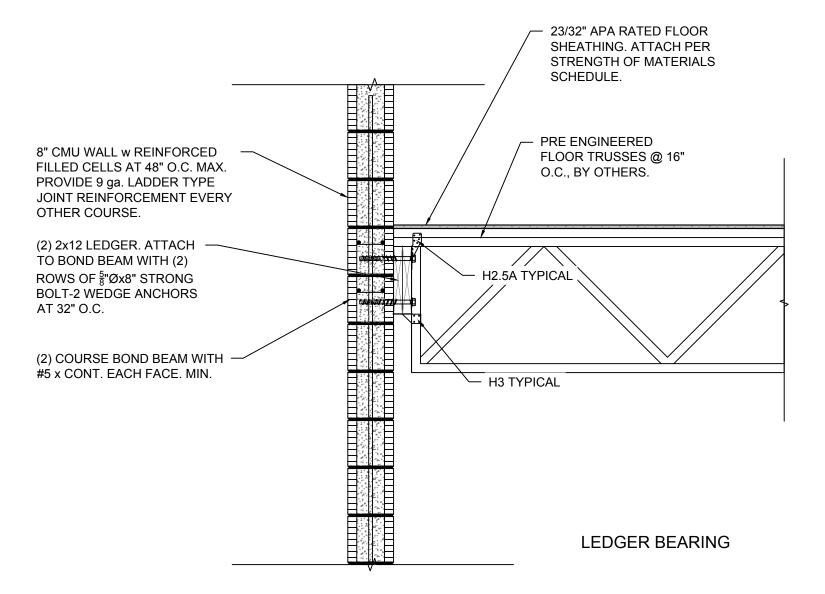


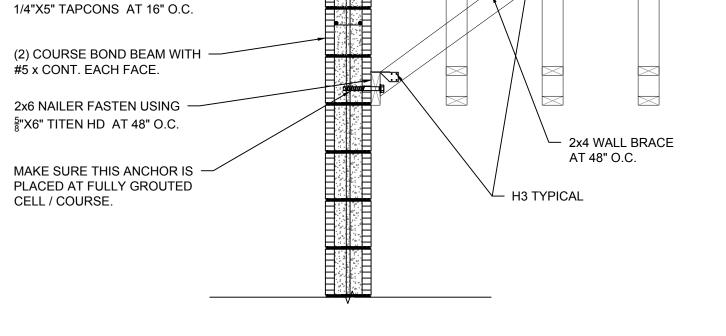
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TRUSS-TO-WALL DETAIL - PERPENDICULAR

SCALE: 3/4" = 1'-0"

2 S1.4

2 TRUSS-TO-CMU WALL DETAIL - PARALLEL

SCALE: 3/4" = 1'-0"

8" CMU WALL w REINFORCED

FILLED CELLS AT 48" O.C. MAX.

PROVIDE 9 ga. LADDER TYPE JOINT REINFORCEMENT EVERY

2x4 NAILER FASTEN USING

OTHER COURSE.

FLOODPLAIN - ZONE AREX12 LEDGER, FASTEN TO CMU USING (2) ROWS OF 5/8"x8" TITEN HD CONCRETE ANCHORS AT 32" O.C. the Design Flood Elevation (DFE) S2.2 H2.5A TRUSS TO WALL BRACING
@ 48" O.C.
SEE DETAIL LEDGER, TYPICAL 24" PRE-ENGINEERED #5 x 12" x 30" FLOOR TRUSSES AT SLAB TIES 16" O.C. BY OTHERS OVERFRAME SLAB AS @ 48" O.C. REQUIRED USING 2x's AND GA2 CLIPS AT MAX 5'-0" 6" CONC. SLAB W/ #5 @ 12" O.C. EACH WAY AT BOTT. - 6" CONC. SLAB W/ #5 @ 12" O.C. EACH WAY AT BOTT. H2.5A TRUSS TO LEDGER, TYPICAL **GIRDER TRUSS** LEFT FLANGE (2)2X12 LEDGER, FASTEN TO CMU USING (2) ROWS OF 5/8"x8" TITEN HD CONCRETE ANCHORS AT 32" O.C. CONCEALED **EVEVATOR** (BY OTHERS) @ 24" O.C. @ CANTILEVER SUPPORT 6" CONC. SLAB - \times W/ #5 E.W. ✓ OPEN TO -H2.5A TRUSS TO H2.5A TRUSS TO BELOW LEDGER, TYPICAL LEDGER, TYPICAL HGUM LEFT FLANGE CONCEALED **HGUM RIGHT** FLANGE CONCEALED

SECOND LEVEL FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

SECOND LEVEL FRAMING PLAN

DRAWN KT

DESIGN AZ
CHECK SD

S1.4

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- 23/32" APA RATED FLOOR SHEATHING. ATTACH PER STRENGTH

OF MATERIALS SCHEDULE.

FLOOR TRUSSES @ 16" O.C., BY OTHERS.

- PRE ENGINEERED

DATE

1 CERTIFY THAT

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06/13/2022

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06/13/2022

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RESPONSIBILITY

ECT INFORMATION: 3N CRITERIA PRIVATE RESIDENCE

PROJECT INFO DESIGN CRITER NEW PRIVATE F 34 ADAILIA AVE TAMPA, FL 33606

MASONRY WALL SCHEDULE HORIZONTAL DESIGNATION BOND BEAM REINFORCMENT REINFORCEMENT MIN. (2) COURSE 9 ga LADDER TYPE #5 CONT. @ 48" O.C. IN BOND BEAM W/ #5 MORTAR FULLY GROUTED CELLS MW-1 AT EACH FACE AT REINFORCEMENT EVERY TOP OF EVERY COURSE 9 ga LADDER TYPE #5 CONT. @32" O.C. IN BOND BEAM W/ #5 MORTAR MW-2 FULLY GROUTED AT EACH FACE AT REINFORCEMENT EVERY TOP OF EVERY COURSE LEVEL

	MASONRY HEADER SCHEDULE								
MARK	TYPE	MEMBER SIZE	ADDL REINFORCMENT	NOTES					
MH-1	PRE-CAST	8F8	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					
MH-2	PRE-CAST	8F16	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					
MH-3	PRE-CAST	8F24	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					
MH-4	PRE-CAST	8F32	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					

MASONRY HEADER SCHEDULE NOTES:

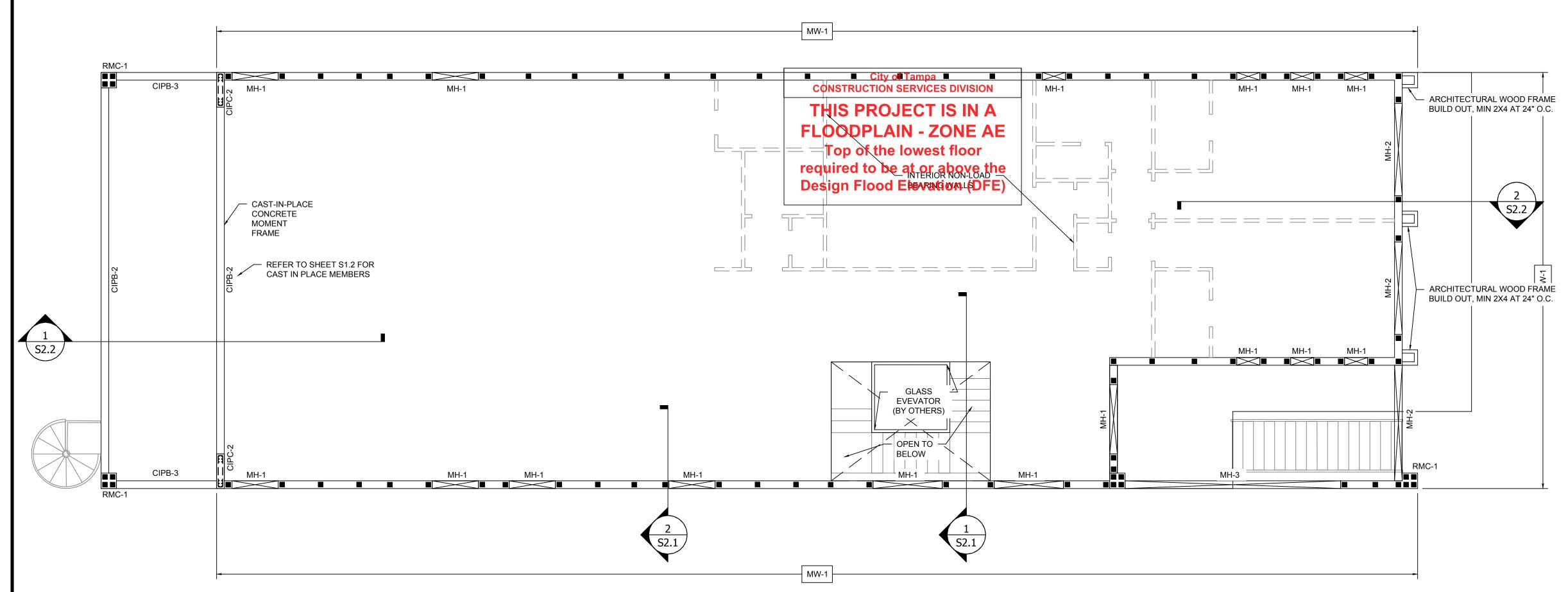
1. LINTELS DESIGNED USING PRECAST CAST-CRETE PRODUCTS. FOR MORE INFORMATION GO TO WWW.CAST-CRETE.COM OR CALL 1-800-999-4641.

2. OTHER LINTEL MANUFACTURER'S PRODUCTS CAN BE USED ONLY UPON APPROVAL FROM ENGINEER OF RECORD.

3. FIELD CUT UNITS AS REQUIRED.

4. FOUR INCH BEARING REQUIRED.

5. PROVIDE TEMPORARY SUPPORT ON LINTELS REQUIRING GROUT FILL.



SECOND LEVEL WALL PLAN

SCALE: 3/16" = 1'-0"

City of Tampa

PLAN APPROVAL 7/21/2022

CONSTRUCTION SERVICES DIVISION

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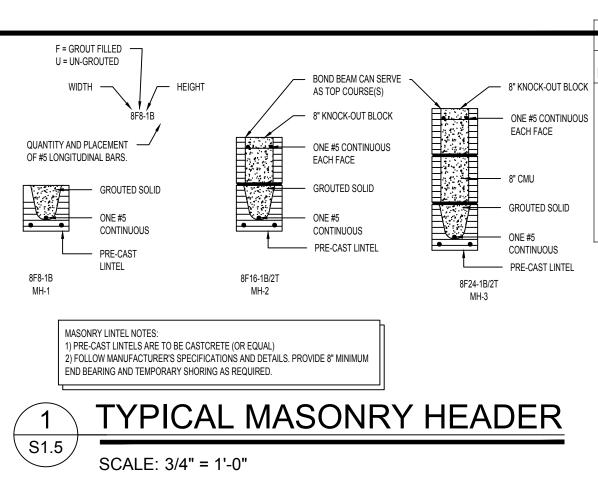
vithout written approval from the City of Tampa Construction Services Division.

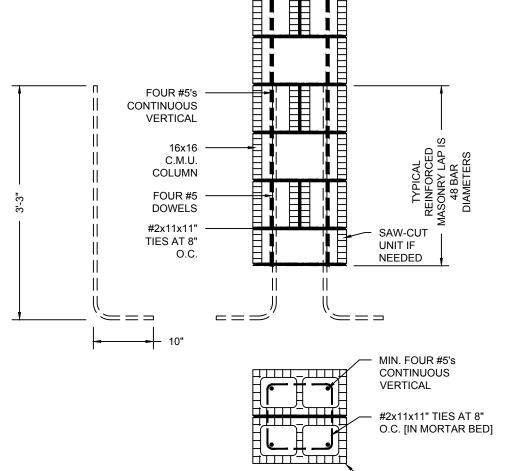
ne Stamping of this plan shall not be held to

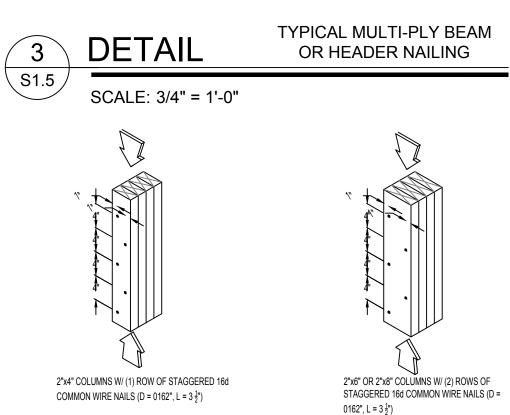
rmit or approve the violation of any City or

State Codes

REVIEWED FOR CODE COMPLIANCE







1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN 2) ALL NAILS PENETRATE AT LEAST $\frac{3}{4}$ OF THE THICKNESS OF THE LAST LAMINATION. 3) FOR 3-PLY, COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF B.U.C., SAME NUMBER OF ROWS 4) FOR 4-PLY, PROVIDE ¹/₄" DIA.x 5 ¹/₂" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY) 5) FOR 5-PLY, PROVIDE ‡" DIA x 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
6) REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION



NAILING

TYP. MULTI-PLY POST

S1.5

JOB NO. <u>ET22-0219</u>

SECOND LEVEL

WALL PLAN

DRAWN KT

DESIGN AZ

CHECK SD

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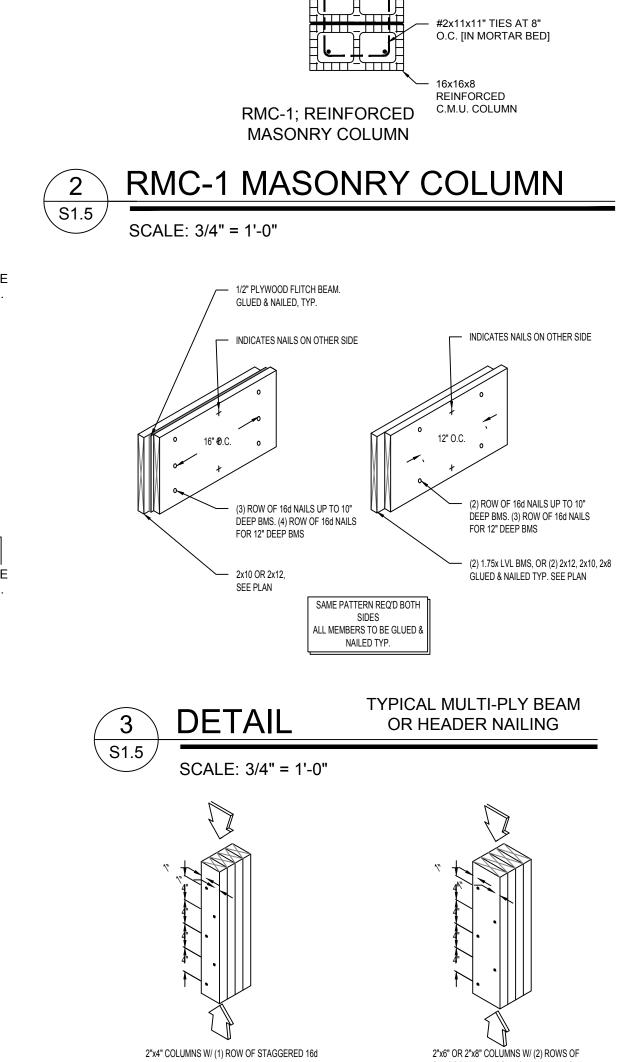
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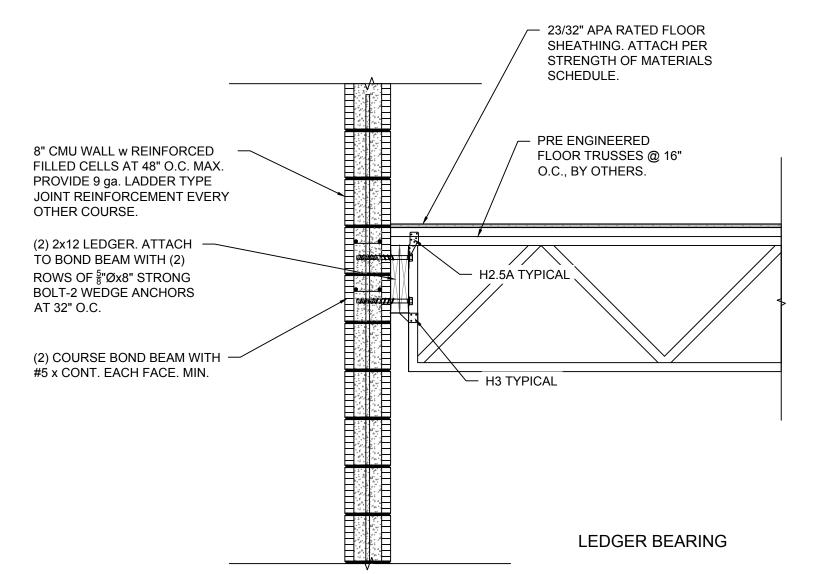
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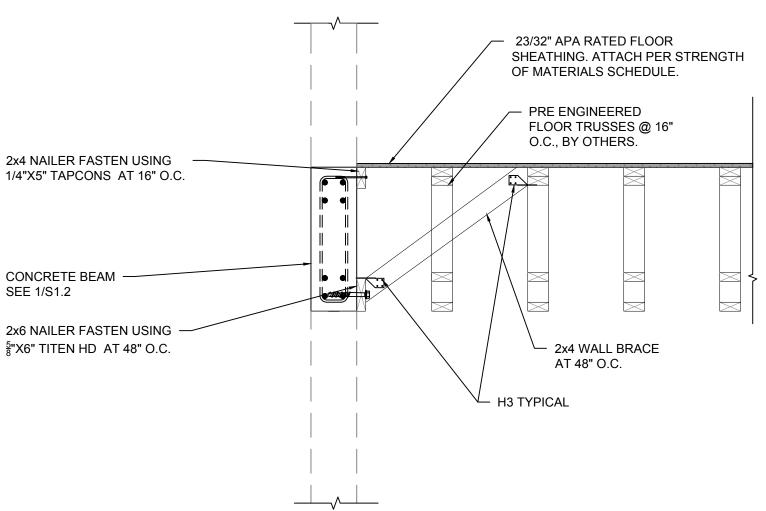


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23/32" APA RATED FLOOR SHEATHING. ATTACH PER STRENGTH OF MATERIALS SCHEDULE. 8" CMU WALL w REINFORCED FILLED CELLS AT 48" O.C. MAX. PRE ENGINEERED PROVIDE 9 ga. LADDER TYPE JOINT REINFORCEMENT EVERY FLOOR TRUSSES @ 16" O.C., BY OTHERS. OTHER COURSE. 2x4 NAILER FASTEN USING 1/4"X5" TAPCONS AT 16" O.C. (2) COURSE BOND BEAM WITH #5 x CONT. EACH FACE. 2x6 NAILER FASTEN USING 5/8 X6" TITEN HD AT 48" O.C. 2x4 WALL BRACE AT 48" O.C. MAKE SURE THIS ANCHOR IS — PLACED AT FULLY GROUTED H3 TYPICAL CELL / COURSE.

TRUSS-TO-CMU WALL DETAIL - PARALLEL



3 TRUSS-TO-CIP BEAM DETAIL - PARALLEL

SCALE: 3/4" = 1'-0"

TRUSS-TO-WALL DETAIL - PERPENDICULAR

SCALE: 3/4" = 1'-0"

\S1.6

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S1.4 SCALE: 3/4" = 1'-0"

- 20" PRE-ENGINEERED FLOOR TRUSSES AT 16" O.C. BY OTHERS FLOODPLAIN - ZONE 422x12 LEDGER, FASTEN TO CMU USING (2) ROWS OF 5/8"x8" TITEN HD CONCRETE ANCHORS AT 32" O.C. required to be at or above the | | | | | | | | | | - CANTILEVERED 2x12 @ 16" O.C. SEE SECTION $\begin{pmatrix} 2 \\ S2.2 \end{pmatrix}$ GIRDER TRUSS 24" PRE-ENGINEERED FLOOR TRUSSES AT 16" O.C. BY OTHERS WALL BRACING @ 48" O.C. SEE DETAIL 6" CONC. SLAB W/ #5 @ 12" O.C. (2)2X12 LEDGER, FASTEN TO EACH WAY AT BOTT. CMU USING (2) ROWS OF HETA16 TRUSS TO 5/8"x8" TITEN HD CONCRETE (5)2x4 STUD PACK -CMU, TYPICAL ANCHORS AT 32" O.C. W/ (2) HTSM16 AT STAGGER W/ ANCHORS ON OPPOSITE SIDE OF WALL GIRDER TRUSS - (2)2X12 LEDGER, FASTEN TO (2)2X12 LEDGER, FASTEN TO CMU USING (2) ROWS OF 5/8"x8" TITEN HD CONCRETE ANCHORS AT 32" O.C. **EVEVATOR** CMU USING (2) ROWS OF (BY OTHERS) 5/8"x8" TITEN HD CONCRETE ANCHORS AT 32" O.C. BELOW H2.5A TRUSS TO H2.5A TRUSS TO LEDGER, TYPICAL LEDGER, TYPICAL



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CONSTRUCTION SERVICES DIVISION

THIRD LEVEL FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

FLOOR FRAMING PLAN

S1.6

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20. ALL
FEMS AND
THE
BUILDER.
SAMUEL P. DEAN P.E. #83916

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE STRUCTURAL ELEMENTS AND SYSTEMS FOR THIS STRUCTURE HAVE BEEN DESIGNED TO BE IN COMPLIANCY WITH THE FLORIDA BUILDING CODE 7TH EDITION 2020. ALL OTHER ELEMENTS, SYSTEMS AN ASSEMBLIES ARE THE RESPONSIBILITY OF THE BUILDEF

CRITERIA VATE RESIDENCE

PROJECT INFORM DESIGN CRITERIA NEW PRIVATE RES 34 ADAILIA AVE TAMPA, FL 33606

 JOB NO.
 ET22-0219

 DRAWN
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 SD

THIRD LEVEL

MASONRY WALL SCHEDULE HORIZONTAL DESIGNATION WIDTH BOND BEAM REINFORCMENT REINFORCEMENT MIN. (2) COURSE 9 ga LADDER TYPE BOND BEAM W/ #5 MORTAR AT EACH FACE AT **FULLY GROUTED** REINFORCEMENT EVERY COURSE MIN. (2) COURSE 9 ga LADDER TYPE #5 CONT. @32" O.C. IN BOND BEAM W/ #5 REINFORCEMENT EVERY AT EACH FACE AT MW-2 FULLY GROUTED CELLS TOP OF EVERY COURSE LEVEL

	MASONRY HEADER SCHEDULE								
MARK	TYPE	MEMBER SIZE	ADDL REINFORCMENT	NOTES					
MH-1	PRE-CAST	8F8	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					
MH-2	PRE-CAST	8F16	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					
MH-3	PRE-CAST	8F24	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					
MH-4	PRE-CAST	8F32	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)					

MASONRY HEADER SCHEDULE NOTES:

1. LINTELS DESIGNED USING PRECAST CAST-CRETE PRODUCTS. FOR MORE INFORMATION GO TO WWW.CAST-CRETE.COM OR CALL 1-800-999-4641.

2. OTHER LINTEL MANUFACTURER'S PRODUCTS CAN BE USED ONLY UPON APPROVAL FROM ENGINEER OF RECORD.

3. FIELD CUT UNITS AS REQUIRED.

4. FOUR INCH BEARING REQUIRED. 5. PROVIDE TEMPORARY SUPPORT ON LINTELS REQUIRING GROUT FILL.

WOOD WALL SCHEDULE									
DESIGNATION	WALL STUDS	SHEATHING	SOLE PLATE ANCHORAGE	STUD TO DOUBLE TOP PLATE	STUD TO SOLE PLATE	HOLDDOWN @ EACH END OF WALL SEGMENT, TRANSITION, JAMB AND CORNER			
WW-1	2X6 @ 16" O.C.	FOR EXTERIOR WALLS USE 15/32" PLYWOOD. FOR INTERIOR WALLS USE 5/8" GYPSUM	16d NAILS @ 6" O.C.	SP-2	SP-1	DTT2Z [CMU] <u>OR</u> (2)CS16 [WOOD]			
IOTES:) ALL EXTERIOR WALLS ARE TO RECEIVE ‡" GYP ON INTERIOR FACE AND EXTERIOR FINISHES PER ARCHITECTURAL U.N.O.									
<u>, </u>	ALL EXTERIOR WALLS ARE TO RECEIVE ½" GYP ON INTERIOR FACE AND EXTERIOR FINISHES PER ARCHITECTURAL., U.N.O. ALL INTERIOR WALLS ARE TO RECEIVE ½" GYP ON EACH FACE								

	WOOD HEADER / BEAM SCHEDULE									
MARK	MARK MEMBER JACK STUDS KING STUDS HEADER TO JAMB STUD, EACH END JAMB BASE									
WH-1	(3)2x8's	1	1	CS16	MTS16 / CS16					
WH-2	(3)2x12's	2	3	(2)CS16	(2)CS16					

WOOD HEADER /BEAM SCHEDULE NOTES:

4) ATTACH SHEATHING PER STRENGTH OF MATERIALS, U.N.O.

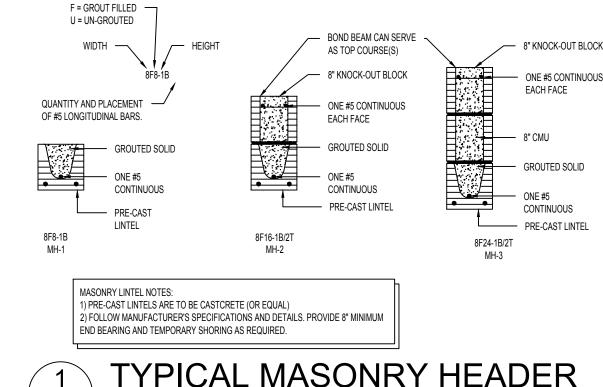
1. DIMENSIONAL LUMBER IS #2 SYP, U.N.O. 2. LVLs ARE 2,850 Fb AND 2.0E, U.N.O.

3. MULTI-PLY MEMBERS ARE TO BE GLUED AND NAILED/SCREWED TO EACH OTHER PER TYPICAL DETAILS.

4. ADD ADDITIONAL LAYER(S) OF ½" PLYWOOD TO MATCH WALL FRAMING WIDTH. 5. STUD PACKS SHALL BE SAME WIDTH AS STUDS IN WALL.

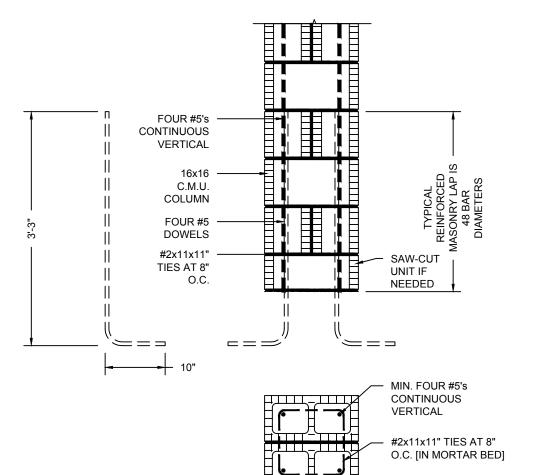
6. ALL JAMB STUDS SHOULD BE CONTINUOUSLY SUPPORTED TO FOUNDATION INCLUDING FLOOR FRAMING

6.1. FLOOR CAVITY BLOCKING SHOULD MATCH QUANTITY OF STUDS OF JAMB FROM FLOOR ABOVE. 6.2. WHERE UPPER LEVEL OPENING DOESN'T ALIGN WITH LOWER LEVEL OPENING, PROVIDE FULL HEIGHT STUDS IN LOWER LEVEL ALIGNED WITH UPPER LEVEL JAMB STUDS.





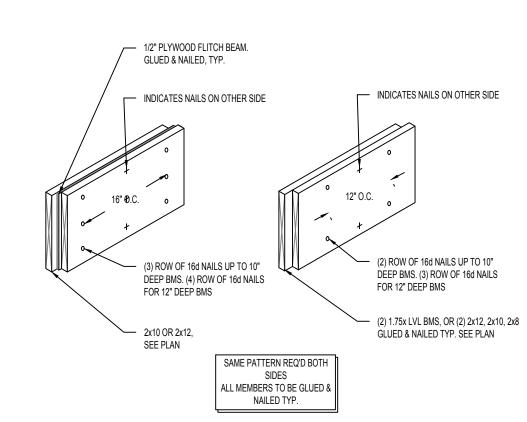
SCALE: 3/4" = 1'-0"



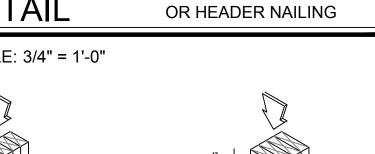
RMC-1; REINFORCED MASONRY COLUMN



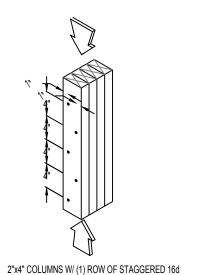
SCALE: 3/4" = 1'-0"



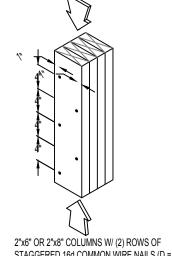




TYPICAL MULTI-PLY BEAM



COMMON WIRE NAILS (D = 0162", L = $3\frac{1}{2}$ ")



STAGGERED 16d COMMON WIRE NAILS (D =

0162", L = $3\frac{1}{2}$ ") 1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN 2) ALL NAILS PENETRATE AT LEAST $\frac{3}{4}$ OF THE THICKNESS OF THE LAST LAMINATION. 3) FOR 3-PLY, COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF B.U.C., SAME NUMBER OF ROWS

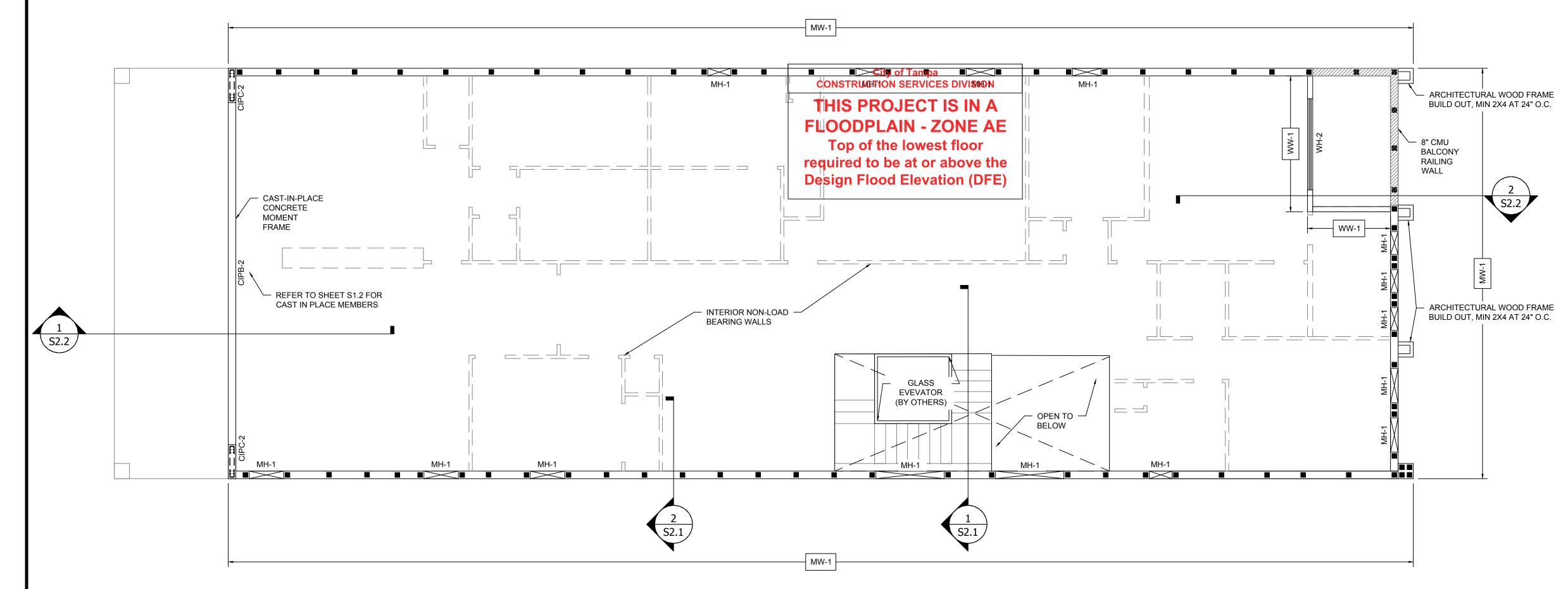
4) FOR 4-PLY, PROVIDE ¹/₄" DIA.x 5 ¹/₂" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY) 5) FOR 5-PLY, PROVIDE ¹/₄" DIA x 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY) 6) REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION



DETAIL

WALL PLAN TYP. MULTI-PLY POST NAILING

S1.7





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JOB NO. <u>ET22-0219</u> DRAWN KT

> DESIGN AZ CHECK SD THIRD LEVEL

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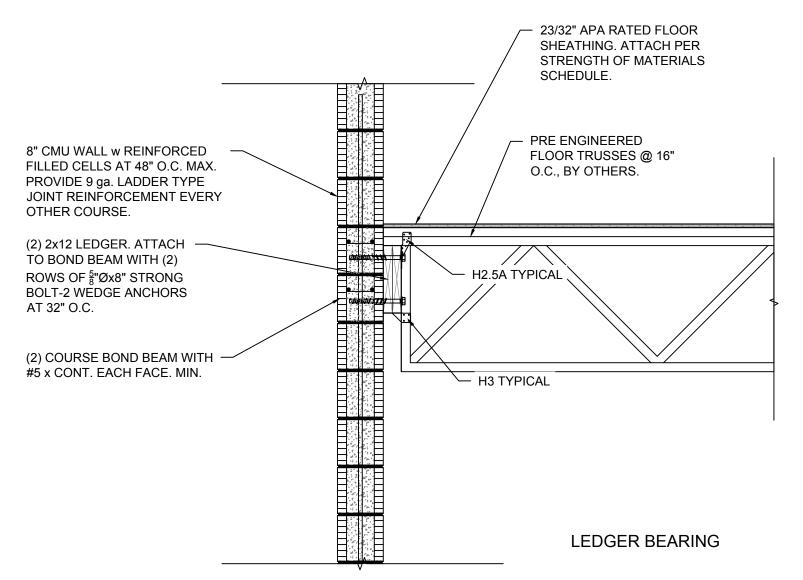
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TRUSS-TO-WALL DETAIL - PERPENDICULAR

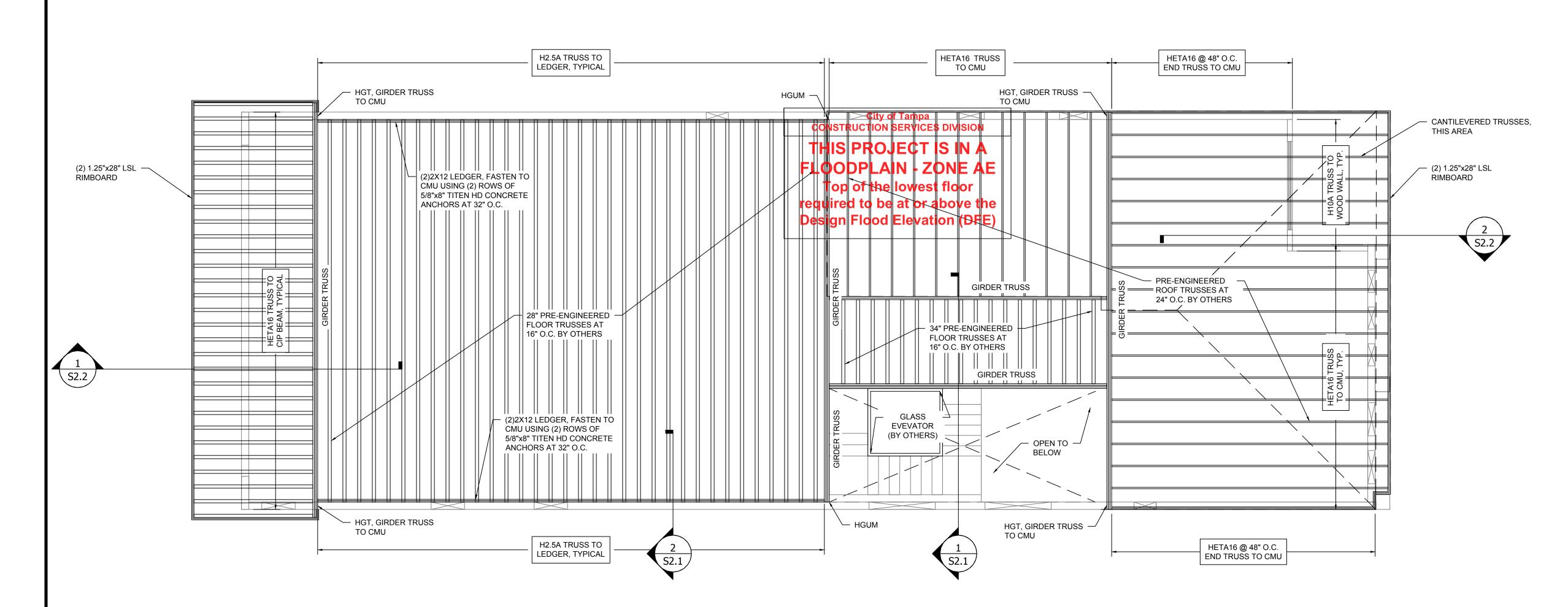
SCALE: 3/4" = 1'-0"

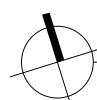
S1.8

23/32" APA RATED FLOOR SHEATHING. ATTACH PER STRENGTH OF MATERIALS SCHEDULE. 8" CMU WALL w REINFORCED FILLED CELLS AT 48" O.C. MAX. - PRE ENGINEERED PROVIDE 9 ga. LADDER TYPE JOINT REINFORCEMENT EVERY FLOOR TRUSSES @ 16" O.C., BY OTHERS. OTHER COURSE. 2x4 NAILER FASTEN USING 1/4"X5" TAPCONS AT 16" O.C. (2) COURSE BOND BEAM WITH #5 x CONT. EACH FACE. 2x6 NAILER FASTEN USING §"X6" TITEN HD AT 48" Ο.C. ─ 2x4 WALL BRACE AT 48" O.C. MAKE SURE THIS ANCHOR IS —
PLACED AT FULLY GROUTED - H3 TYPICAL CELL / COURSE.

TRUSS-TO-WALL DETAIL - PARALLEL

SCALE: 3/4" = 1'-0"





ROOF / ROOF DECK / PENTHOUSE FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

DESIGN AZ
CHECK SD

JOB NO. <u>ET22-0219</u>
DRAWN <u>KT</u>

PROJECT DESIGN CF NEW PRIVA 34 ADAILIA AVE TAMPA, FL 33606

ISSUE
PERMIT SET
RESPONSE TO COMMENTS
RESPONSE TO COMMENTS #;

INFORMATIC SRITERIA VATE RFSIDEN

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PENTHOUSE FLOOR FRAMING PLAN

S1.8

OR REVIEW AND PERMIT. NOT FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND THE BUILDING OFFICIAL. THEN MUST BE MARKED "APPROVED FOR CONSTRUCTION" BY THE ENGINEER.

	MASONRY WALL SCHEDULE						
	DESIGNATION	WIDTH		ERTICAL FORCMENT	HORIZONTAL REINFORCEMENT	BOND BEAM	
	MW-1	8"	FULL	Г. @ 48" O.C. IN Y GROUTED CELLS	9 ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL	
Cit CONSTRUCTIO	y of ™a\\ndot\ndot\ndot\ndot\ndot\ndot\ndot\ndo	8" DIVISION		T. @32" O.C. IN Y GROUTED CELLS	9 ga LADDER TYPE MORTAR REINFORCEMENT EVERY COURSE	MIN. (2) COURSE BOND BEAM W/ #5 AT EACH FACE AT TOP OF EVERY LEVEL	
	APPROVAL						
	7/21/2022	MASC	NRY	HEADER S	SCHEDULE		
THIS SET OF PLAN	IS MUST BE KE	PT ON THE			4881		
JOB /	AT ALMARIMES	TYPE	MEN	IBER SIZE	ADDL REINFORCMENT	NOTES	
is unlawful to m without written	approval from	the City of	;	8F8	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)	
Tampa Construne Stamping of the ermit or approve	iis plan _H shall n	ot bre-breshol to		8F16	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)	
	ate Codes			8F24	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)	
	MH-4	PRE-CAST		8F32	#5 TOP AND BOTTOM	FULLY GROUTED CAST CRETE (OR EQUAL)	

MASONRY HEADER SCHEDULE NOTES:

1. LINTELS DESIGNED USING PRECAST CAST-CRETE PRODUCTS. FOR MORE INFORMATION GO TO WWW.CAST-CRETE.COM OR CALL 1-800-999-4641. 2. OTHER LINTEL MANUFACTURER'S PRODUCTS CAN BE USED ONLY UPON APPROVAL FROM ENGINEER

OF RECORD.

3. FIELD CUT UNITS AS REQUIRED.

4. FOUR INCH BEARING REQUIRED. 5. PROVIDE TEMPORARY SUPPORT ON LINTELS REQUIRING GROUT FILL.

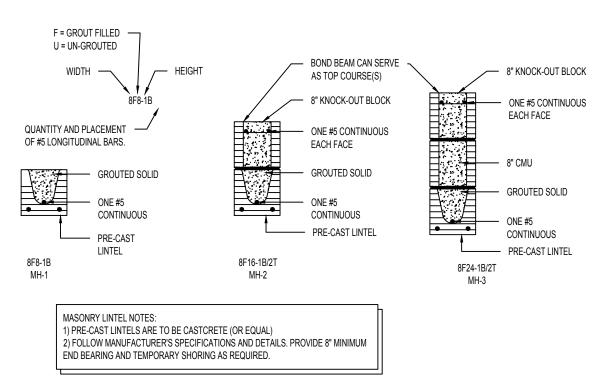
	WOOD WALL SCHEDULE								
			ı	1					
DESIGNATION	WALL STUDS	SHEATHING	SOLE PLATE ANCHORAGE	STUD TO DOUBLE TOP PLATE	STUD TO SOLE PLATE	HOLDDOWN @ EACH END OF WALL SEGMENT, TRANSITION, JAMB AND CORNER			
WW-1	2X6 @ 16" O.C.	FOR EXTERIOR WALLS USE 15/32" PLYWOOD. FOR INTERIOR WALLS USE 5/8" GYPSUM	16d NAILS @ 6" O.C.	SP-2	SP-1	DTT2Z [CMU] <u>OR</u> (2)CS16 [WOOD]			
NOTES:									
) ALL EXTERIOR WALLS ARE TO RECEIVE ½" GYP ON INTERIOR FACE AND EXTERIOR FINISHES PER ARCHITECTURAL., U.N.O.									
2) ALL INTERIOR WALLS ARE TO RECEIVE ½ GYP ON EACH FACE									
3) SOLID BLOCK VII	WALLS IN S	CHEDLII E INCLLIDING EXTERIOR AND	INTEDIOD I OAD BE	ADING WALL	2				

WOOD HEADER / BEAM SCHEDULE					
MARK	MEMBER	JACK STUDS	KING STUDS / POST	HEADER TO JAMB STUD, EACH END	JAMB BASE
WH-1	(3)2x8's	1	1	CS16	MTS16 / CS16
WH-2	(3)2x12's	2	3	(2)CS16	(2)CS16

WOOD HEADER /BEAM SCHEDULE NOTES: DIMENSIONAL LUMBER IS #2 SYP, U.N.O.

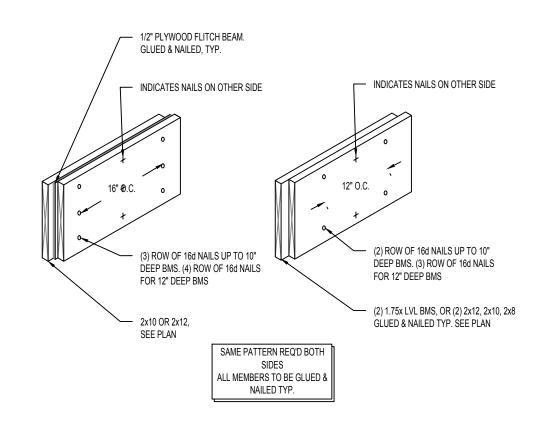
4) ATTACH SHEATHING PER STRENGTH OF MATERIALS, U.N.O.

- 2. LVLs ARE 2,850 Fb AND 2.0E, U.N.O.
- MULTI-PLY MEMBERS ARE TO BE GLUED AND NAILED/SCREWED TO EACH OTHER PER TYPICAL DETAILS.
- ADD ADDITIONAL LAYER(S) OF $\frac{1}{2}$ " PLYWOOD TO MATCH WALL FRAMING WIDTH. STUD PACKS SHALL BE SAME WIDTH AS STUDS IN WALL.
- 6. ALL JAMB STUDS SHOULD BE CONTINUOUSLY SUPPORTED TO FOUNDATION INCLUDING FLOOR FRAMING
- 6.1. FLOOR CAVITY BLOCKING SHOULD MATCH QUANTITY OF STUDS OF JAMB FROM FLOOR ABOVE. 6.2. WHERE UPPER LEVEL OPENING DOESN'T ALIGN WITH LOWER LEVEL OPENING, PROVIDE FULL HEIGHT STUDS IN LOWER LEVEL ALIGNED WITH UPPER LEVEL JAMB STUDS.

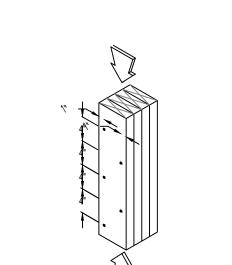


TYPICAL MASONRY HEADER

SCALE: 3/4" = 1'-0"



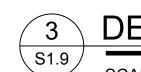
TYPICAL MULTI-PLY BEAM OR HEADER NAILING S1.9 SCALE: 3/4" = 1'-0"



2"x4" COLUMNS W/ (1) ROW OF STAGGERED 16d 2"x6" OR 2"x8" COLUMNS W/ (2) ROWS OF STAGGERED 16d COMMON WIRE NAILS (D = COMMON WIRE NAILS (D = 0162", L = $3\frac{1}{2}$ ")

1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN 2) ALL NAILS PENETRATE AT LEAST $\frac{3}{4}$ OF THE THICKNESS OF THE LAST LAMINATION. 3) FOR 3-PLY, COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF B.U.C., SAME NUMBER OF ROWS,

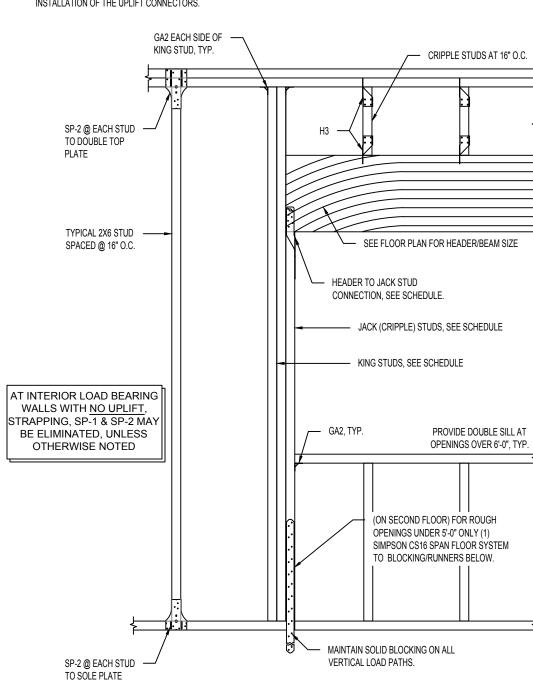
4) FOR 4-PLY, PROVIDE $\frac{1}{4}$ " DIA.x 5 $\frac{1}{2}$ " LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY) 5) FOR 5-PLY, PROVIDE $\frac{1}{4}$ " DIA x 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY) 6) REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION



TYP. MULTI-PLY POST NAILING

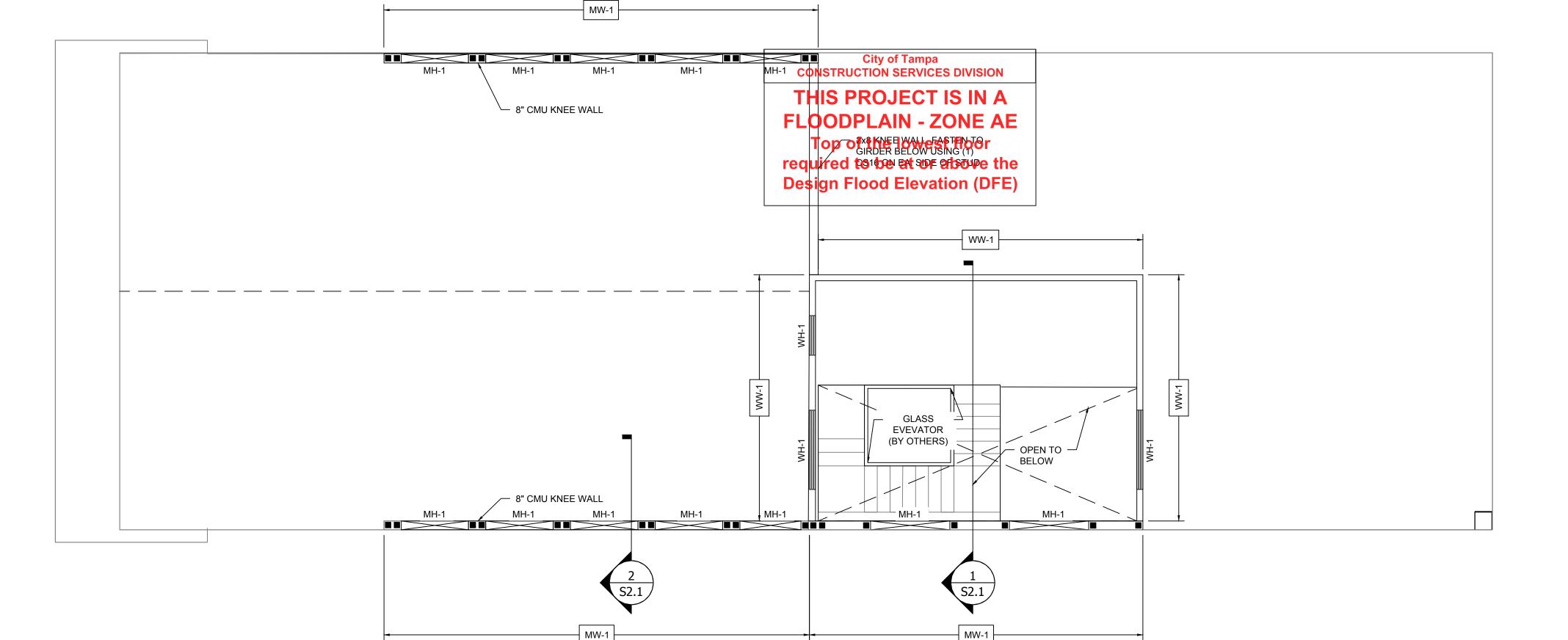
SCALE: 3/4" = 1'-0"

AT 2x WALLS THAT ARE WIDER THAN 2x4 & WHERE THE HEADER IS NOT FULL
WIDTH OF THE WALL, ADD 2x PAD BLOCKING @ 16" O.C. RIPPED
DOWN SUFFICIENT TO FLUSH THE HEADER TO WIDTH & ALLOW THE
INSTALLATION OF THE UPLIFT CONNECTORS. NOTE: FASTEN SHEATHING @ 4" O.C. ALL AROUND OPENINGS



TYPICAL EXTERIOR AND INTERIOR LOAD BEARING WALLS W/ UPLIFT

SCALE: 3/4" = 1'-0"





SCALE: 3/16" = 1'-0"

PENTHOUSE WAL PLAN

JOB NO. <u>ET22-0219</u>

DRAWN KT

DESIGN AZ CHECK SD

PROJECT DESIGN CF NEW PRIVA 34 ADAILIA AVE TAMPA, FL 33606

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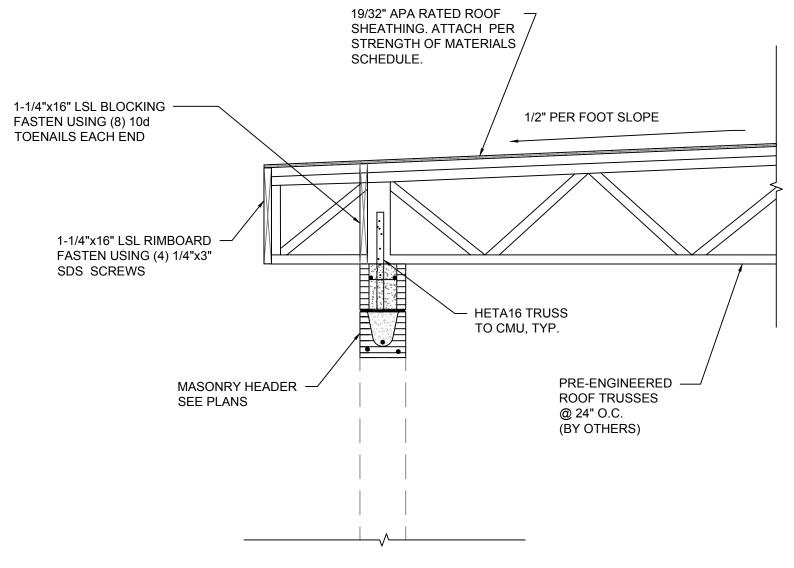
S1.9

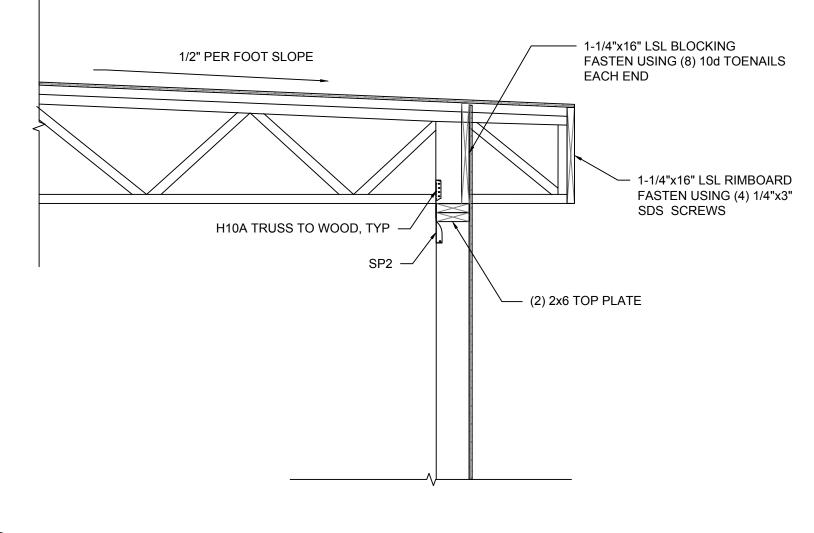
City of Tampa CONSTRUCTION SERVICES DIVISION PLAN APPROVAL 7/21/2022

THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES

t is unlawful to make changes or alterations without written approval from the City of Tampa Construction Services Division. The Stamping of this plan shall not be held to the sermit or approve the violation of any City or State Codes

REVIEWED FOR CODE COMPLIANCE



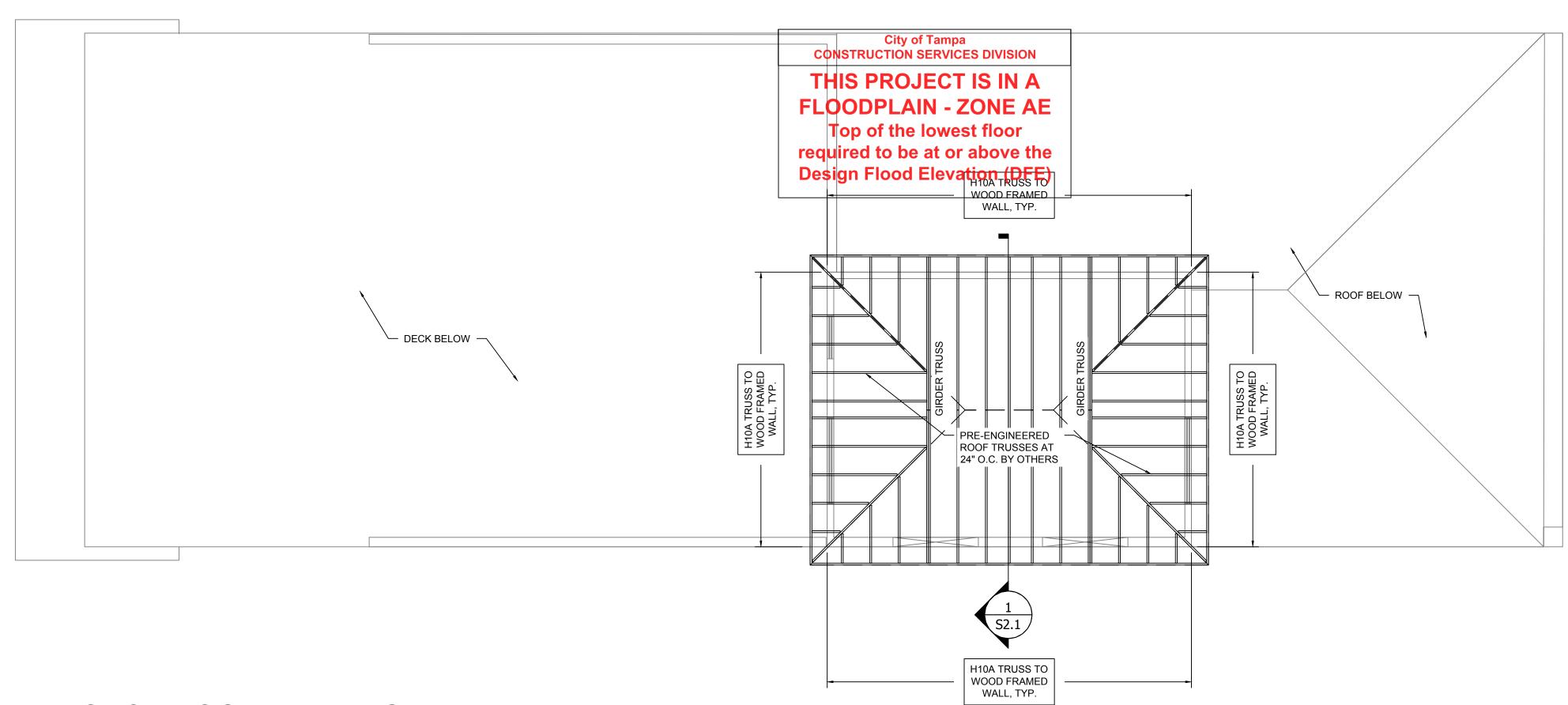


1 ROOF-TO-CMU DETAIL

SCALE: 3/4" = 1'-0"

ROOF-TO-WOOD DETAIL

SCALE: 3/4" = 1'-0"





PENTHOUSE ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

PROJECT INFORMATION:

OESIGN CRITERIA

NEW PRIVATE RESIDENCE

34 ADAILIA AVE

TAMPA, FL 33606

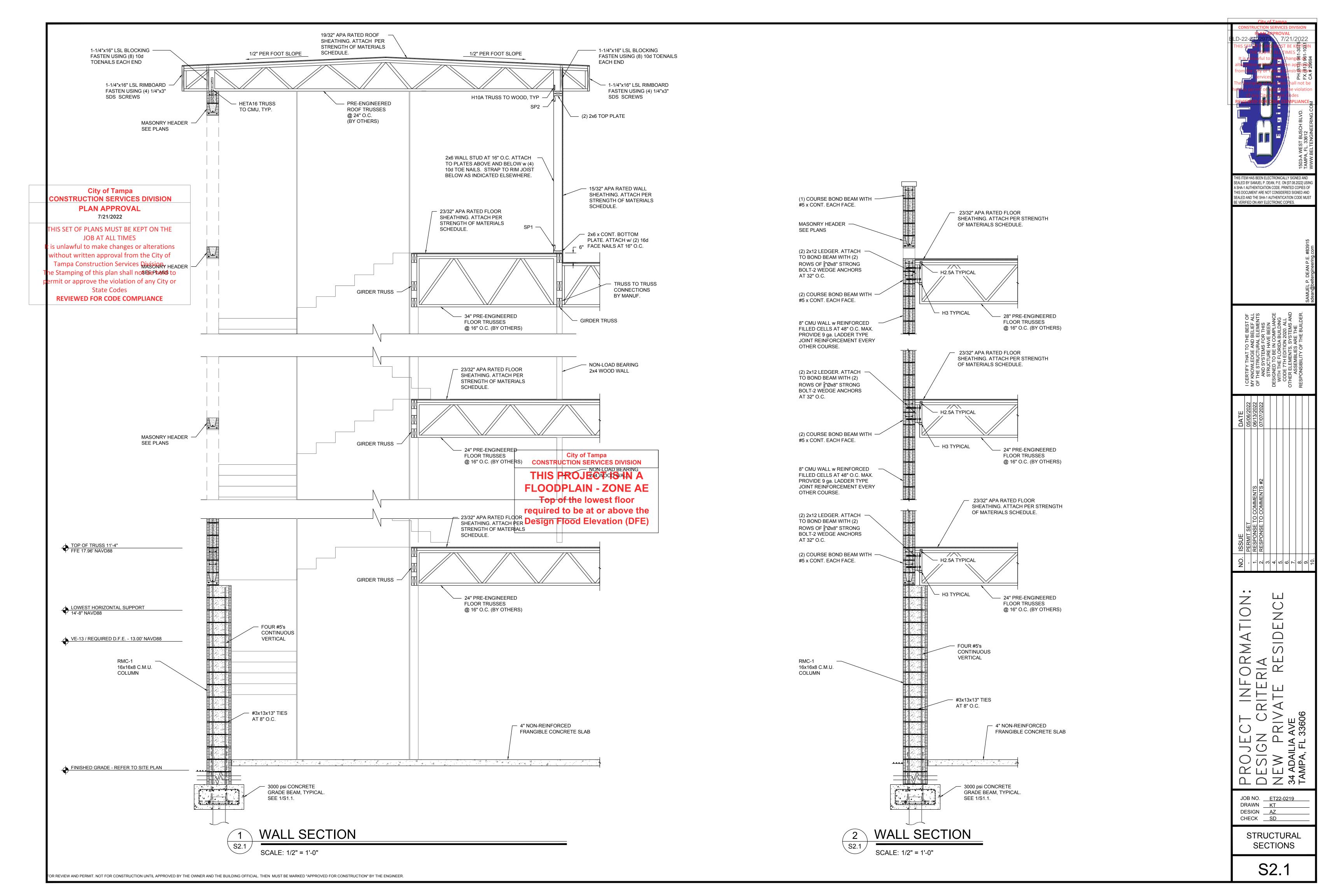
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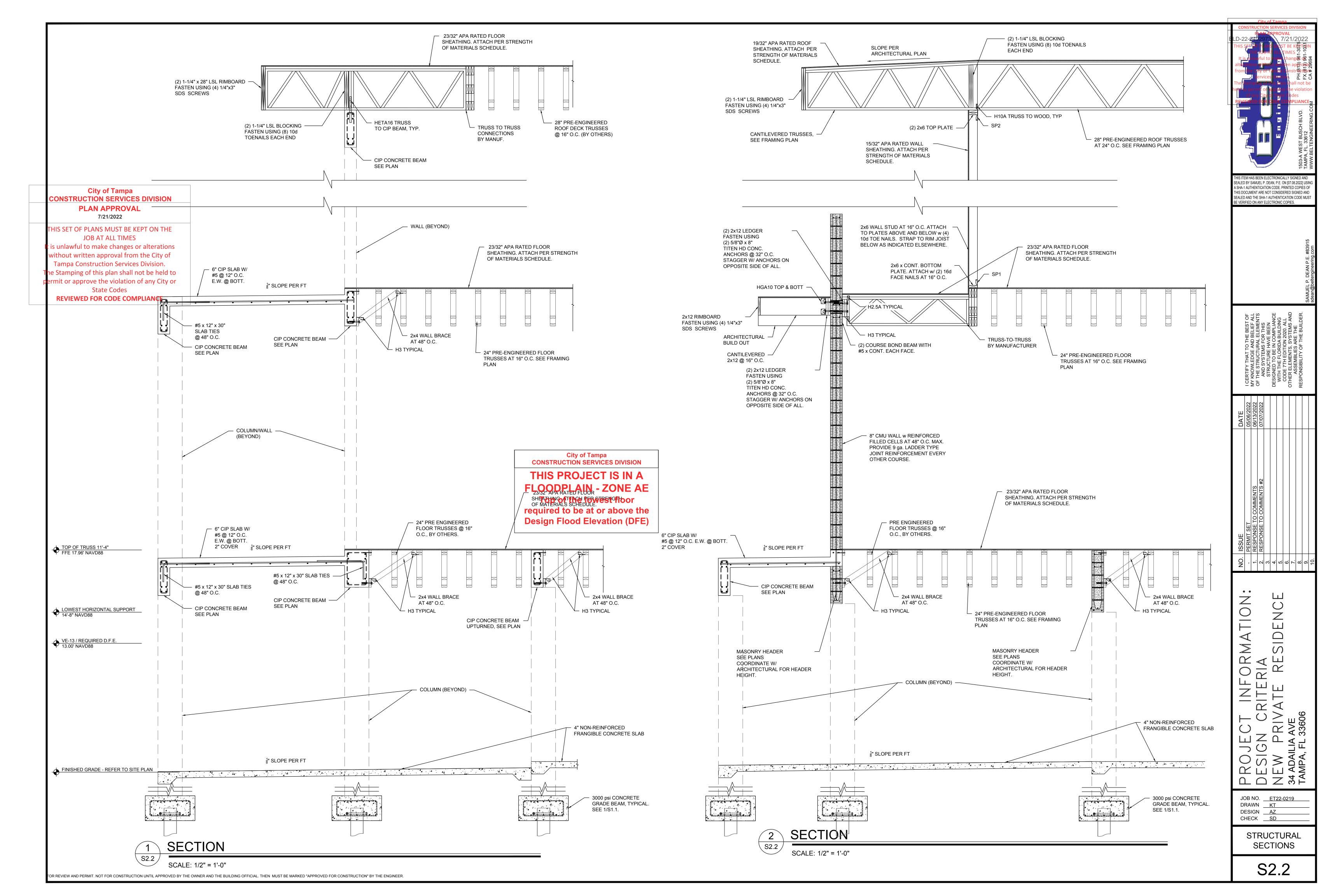
SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

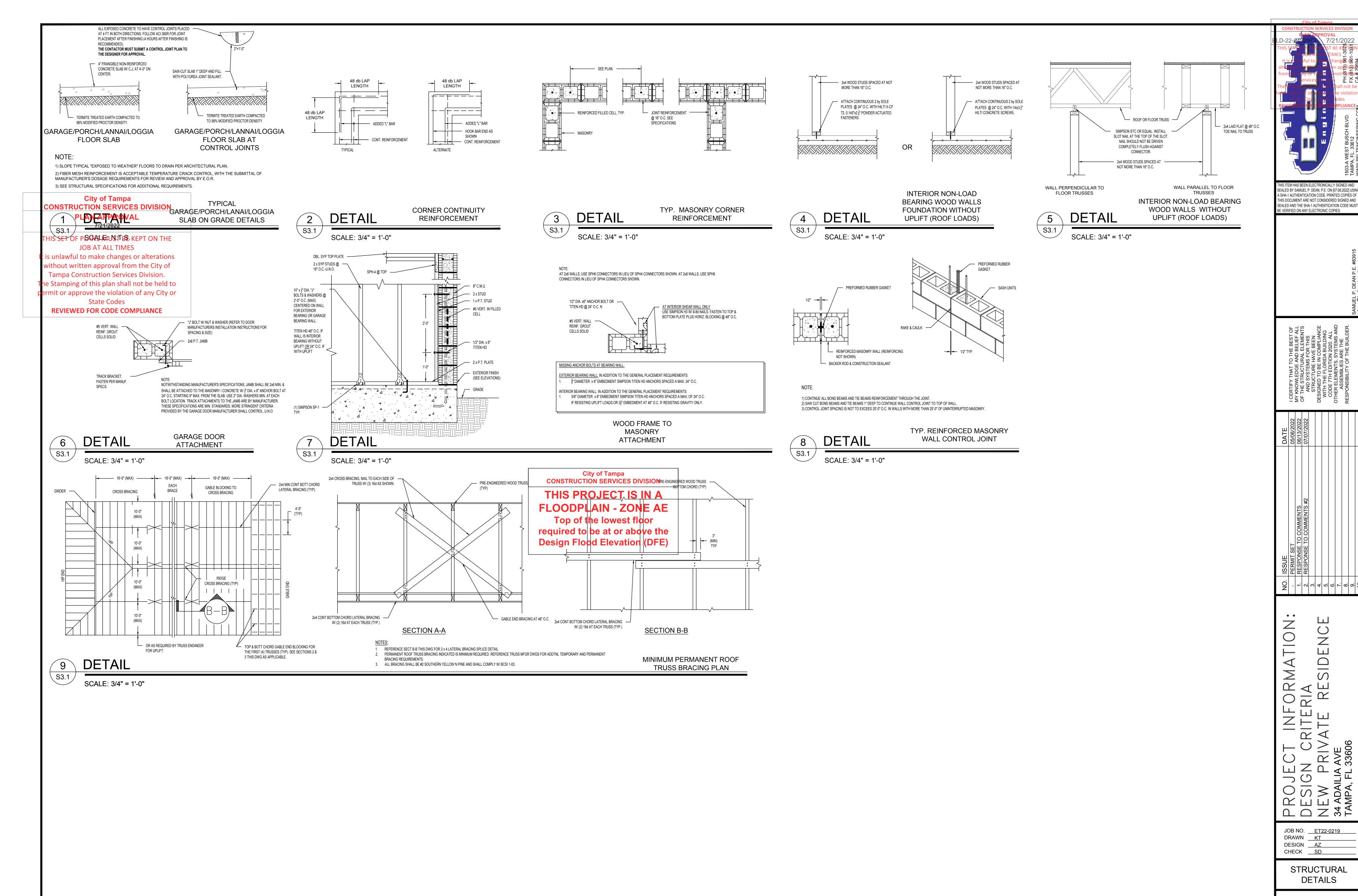
PENTHOUSE ROOF FRAMING PLAN

S1.10

OR REVIEW AND PERMIT. NOT FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND THE BUILDING OFFICIAL. THEN MUST BE MARKED "APPROVED FOR CONSTRUCTION" BY THE ENGINEER.







OR REVIEW AND PERMIT. NOT FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND THE BUILDING OFFICIAL. THEN MUST BE MARKED "APPROVED FOR CONSTRUCTION" BY THE ENGINEER.

S3.1

City of Tampa CONSTRUCTION SERVICES DIVISION

THIS PROJECT IS IN A **FLOODPLAIN WITH MULTIPLE FEMA ZONES** from the C

SCALE: 1" = 10'

City of Tampa **CONSTRUCTION SERVICES DIVISION PLAN APPROVAL** 7/21/2022

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SURVEYORS NOTES

THIS SURVEY NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA SURVEYOR AND MAPPER, REPRODUCTION OF THIS SURVEY IS EXPRESSLY FORBIDDEN. S. NO UNDERGROUND IMPROVEMENTS LOCATED UNLESS OTHERWISE SHOWN DISCREPANCIES BETWEEN PROPERTY LINES OF ADJOINING PARCELS

BEARINGS SHOWN REFERENCE THE WEST R/W LINE OF ADALIA AVENUE,

5. THE FIELD SURVEYED SITE APPEARS TO BE IN FLOOD ZONES "AE(EL12)" & "VE(EL16)", ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP OF HILLSBOROUGH COUNTY, FLORIDA AND INCORPORATED AREAS MAP NUMBER 12057C0362J, EFFECTIVE DATE: 10-7-2021. THE SIGNING

SURVEYOR AND MAPPER HEREON ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS ZONE DETERMINATION. THE PREPARE OF THE MAP
THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCED MAP STATES IN THE NOTES TO THE USER THAT: "THIS MAP IS FOR INSURANCE PURPOSES ONLY".

6. FEMA FLOOD HAZARD MAPPING: THIS PRODUCT WAS NOT DESIGNED TO

MAKE PRECISE IN/OUT FLOOD RISK DETERMINATIONS, THIS PRODUCT IS NOT SUITABLE FOR ENGINEERING APPLICATIONS AND CANNOT BE USED TO DETERMINE ABSOLUTE DELINEATION'S OF FLOOD BOUNDARIES.

. PROPERTY OWNER SHOULD OBTAIN WRITTEN FLOOD ZONE DETERMINATION FROM OUR LOCAL PERMITTING, PLANNING AND BUILDING DEPARTMENT PRIOR TO ANY CONSTRUCTION PLANNING AND/OR CONSTRUCTION.

OF FENCES AND/OR WALLS (IF PRESENT) ARE NOT FIELD DETERMINED

COULD NOT BE OCCUPIED WITH AN INSTRUMENT. THE CALCULATED

MATHEMATICAL CLOSURE MEETS OR EXCEEDS THE CLOSURE REQUIREMENTS SET FORTH IN FLORIDA ADMINISTRATIVE CODE 5J-17

OF WAY, EASEMENTS, AGREEMENTS OR SIMILAR MATTERS.

.THE TREES SHOWN HEREON WERE LOCATED USING METHODS

PARKING LOTS. IT IS THE RESPONSIBILITY OF THE DESIGN

ADEQUATE FOR THEIR ACCURATE LOCATION AND IDENTIFICATION.

HOWEVER, THIS COMPANY AND THE SIGNING SURVEYOR RESERVES

THE RIGHT TO VERIFY LOCATION OF ALL TREES CRITICAL TO THE

DESIGN OF PERMANENT IMPROVEMENTS SUCH AS BUILDINGS AND

PROFESSIONAL TO INFORM THIS COMPANY AND/OR THE SIGNING

SURVEYOR OF ANY TREES CRITICAL TO THEIR DESIGN SO THAT THOSE TREES CAN BE VERIFIED PRIOR TO DESIGN COMPLETION.

LELEVATIONS SHOWN REFERENCE CITY OF TAMPA BENCHMARK HV-02

0178, HAVING A REPORTED ELEVATION OF 5.978 FEET, (NAVD1988).

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THE UNDERSIGNED MAKES NO GUARANTEE AS TO THE EXISTENCE, SIZE OR LOCATION OF SETBACK LINES, RIGHTS

3. UNLESS OTHERWISE SHOWN, ENCROACHMENTS OF UNDERGROUND UTILITIES, WALL FOOTINGS, ETC., WERE NOT RECOGNIZED IN THE FIELD. ALSO FENCES AS SHOWN ARE NOT TO SCALE, OWNERSHIP

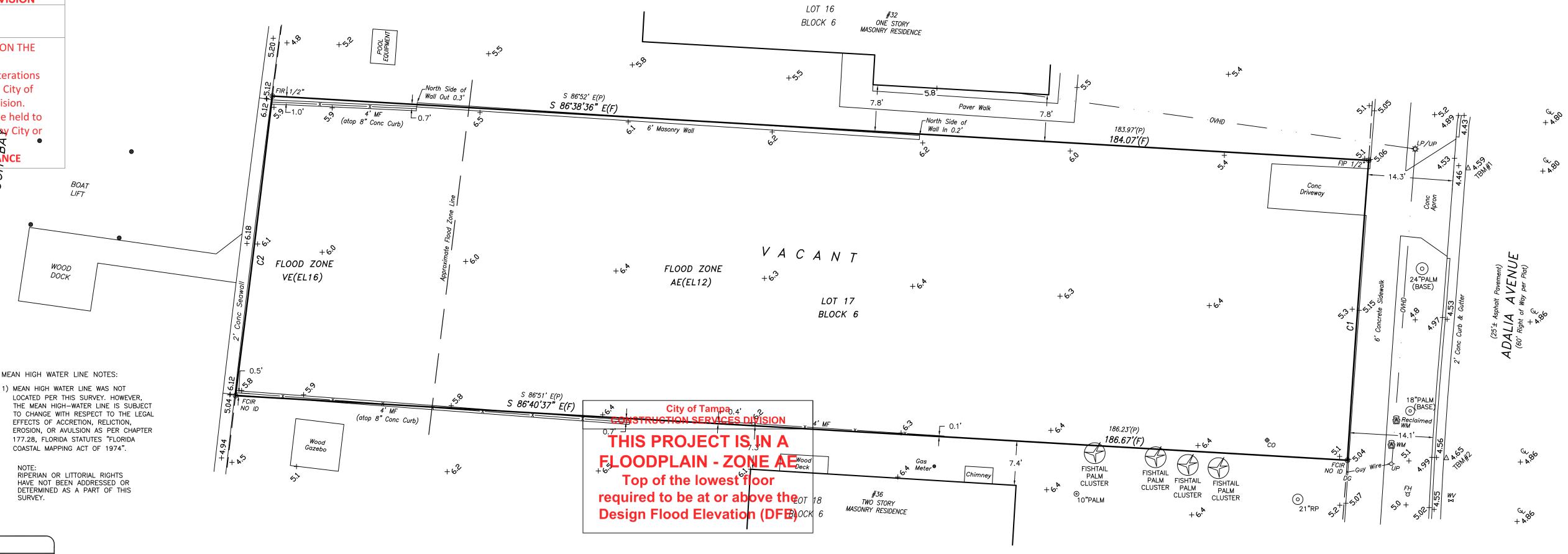
. RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN INTENDED, WITHOUT WRITTEN VERIFICATION WELL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING

HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO ON THIS SURVEY . ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS SURVEY WAS PERFORMED USING THE TRANSIT AND TAPE SURVEY METHOD AND CHECKED BY MATHEMATICAL TRAVERSE CLOSURE AND REDUNDANT MEASUREMENTS TO CORNERS THAT

LEGAL DESCRIPTION SHOWN HEREON PROVIDED BY CLIENT.

NOT VERIFIED UNLESS OTHERWISE SHOWN.

SAID BEARING IS N 04°04'00" E, (PLAT).



		(CURVE TABLE		
			FIELD DATA		
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.36'	3630.00	0°48'30"	N 04*04'00" E	50.36
C2	50.57	7200.00	0°28'58"	N 07°01'07" E	50.57
			PLAT DATA		
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50'	3630.00'		N 04°04' E	50'
C2	50'	7200.00	I	N 06°39' E	50'

CERTIFIED TO: BOSS & MENNIE

LOT 17, BLOCK 6, DAVIS ISLANDS, HYDE PARK SECTION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 52, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.

ELEVATIONS REFER TO NAVD 1988.

EL. = ELEVATION ELEV. = ELEVATION

(AB) = ASBUILT (F) = FIELD)

(C) = CALCULATED
(D) = DESCRIPTION N.T.S. = (M) = MEASURED NOT TO (P) = PLAT
(P) = PLAT
(P) = PLAT
(P) = PYPICAL
A/C = AIR—CONDITIONER
ABS = ACRYLONITRILE BUTADIENE STYRENE
BM = BENCH MARK
BM = BENCH MARK
BM = BENCH MARK
BM = BENCH MARK
BH=BASKETBALL HOOP
Q = CENTERLINE
CO=CLEANOUT
CLF = CHAIN LINK FENCE
CMMSSION

ERCP = ENVIRONMENTAL PROTECTION MF = METAL LIGHT POLE
MCM—STANLE PIPE
COMMSSION

MLP = METAL LIGHT POLE
MW=MONITORING WELL

N.A.V.D. = NORTH AMERICAN
VERTICAL DATUM
N'LY = NORTHERLY
N'LY = RCP = REINFORCED CONCRETE PIPE ELEVATIONS = 6.+TREE SYMBOL = 0 SMALL TREE CLUSTER HCS = HANDICAP SIGN
HH = HANDHOLE
INEXT ELEVATION
ID = IDENTIFICATION NUMBER
IP = IRON PIPE
IR = IRON ROD
LB = LICENSED BUSINESS
LP = LIGHT POLE
MB = MAILBOX
MH = MANHOLE
MES = MITERED END—SECTION

HCS = PAGE
PKN = PACH
PKN = PACH CLF = CHAIN LINK FENCE CMP = CORRUGATED METAL PIPE CONC. = CONCRETE HANDICAP 1 = PARKING SPACES N.T.S. = UGM = UNDERGROUND NOT TO SCALE

WUP = WOOD UTILITY POLE WF = WOOD FENCE WV = WATER VALVE

(+/-) = APPROXIMATE

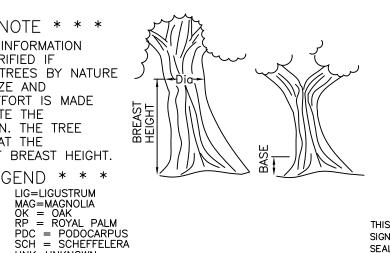
ICV = IRRIGATION CONTROL VALVE

* * * TREE NOTE * * * ALL TREE LOCATIONS INFORMATION SHOULD BE FIELD VERIFIED IF CRITICAL TO DESIGN. TREES BY NATURE ARE IRREGULAR IN SIZE AND SHAPE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THE TREES SHOWN HEREON. THE TREE SIZE IS DETERMINED AT THE DIAMETER OF TREE AT BREAST HEIGHT. * * * TREE LEGEND * * * LIG=LIGUSTRUM BB=BAMBOO

UNK=UNKNOWN

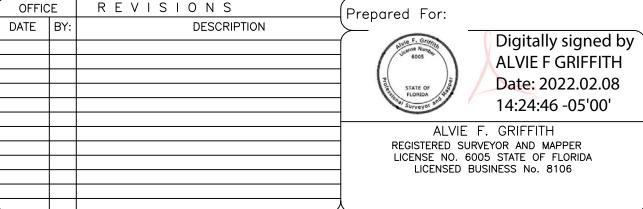
CIT=CITRUS
CL = CHERRY LAUREL
CW = CARROT WOOD
EC = EUCALYPTUS
FP = FAN PALM

QP=QUEEN PALM



ADDRESS: 34 ADALIA AVE, TAMPA, FL. 33606 BOUNDARY SURVEY (SHOWING ELEVATIONS AND TREE LOCATIONS)

DATE OF FIELD SURVEY: 1-20-2022



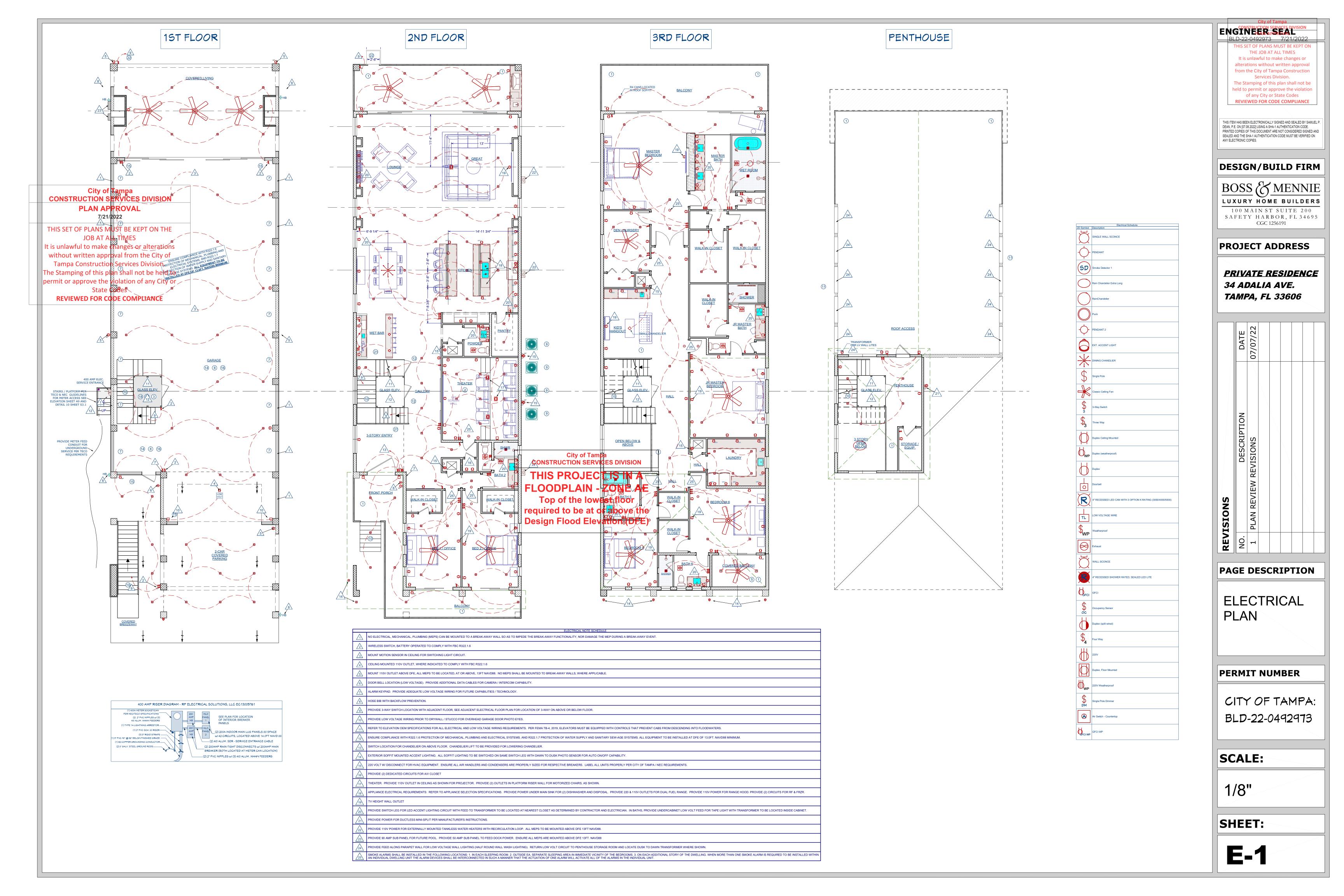


Surveyor Business Lic # LB8106 14052 N. Florida Ave. Tampa FL 33613 Phone: (813) 388-2484

Checked By: SB NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

SECTION 25, TOWNSHIP 29 SOUTH, RANGE 18 EAST

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ALVIE F. GRIFFITH USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.





Development & Growth Management authorized Business Services Division Revolution R

1400 North Boule varder to approximate the part of the

Office: (813) 274-3100 Fax: (813) 259-1712

City of Tampa CONSTRUCTION SERVICES DIVISION PLAN APPROVAL 7/21/2022

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REVIEWED FOR CODE COMPLIANCE



V-Zone Building Design and Performance Certificate

For new Construction and substantial improvements in Coastal High Hazard Areas

NOTE: This certificate is not a replacement for the end of the vation Certificate.

(To be completed by a Licensed Professional Engineer or Architect, authorized to certaify such information by State)

required to be at or above the
Design Flood Elevation (DFE)

Section 1: Structure Address

Structure Address	34 Adalia Ave		
City TAMPA		State FLORIDA	Zip Code <u>33606</u>

Section 2: Elevation Information

Record elevations to one tenth of a foot.

Elevation of the bottom of the Lowest Horizontal Structural Member	15.9	_feet
Base Flood Elevation (BFE)	12	_feet
Elevation of Lowest Adjacent Grade (LAG)	6.3	feet
Depth of scour/erosion used for foundation design	2.33	_feet
Embedment depth of pilings or foundation below LAG	30	feet

Datum of NAVD 88 shall be used as per COT 5-111.81.

tampagov.net —	t
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City of Tampa		
CONSTRUCTION SERVICES DIVISION		
PLAN APPROVAL		
BLD-22-0492973 7/21/2022		
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Section 3: V Zone Certifying Statement

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL

THIS SET OF CONTROL THE SET OF C

permit or approve the lowest floor (excluding pilings or columns) is elevated to State College The Dottom of the lowest horizontal structural member of the lowest floor (excluding pilings or columns) is elevated to above the DFE; and

(ii) The pile or column foundation and structure attached thereto are anchored to resist flotation, collapse, lateral movement, or other structural damage from the effects of wind and water loads acting simultaneously on all structure components. Water loading values used are those associated with the base flood. Wind loading values used are those required by the applicable state or local building standards. The scour and erosion at the foundation have been estimated for conditions associated with the base flood, including wave action.

Section 4: Breakaway Walls Certifying Statement

I certify that I have developed or reviewed the structural design, plans, arid specifications for construction and that the proposed design and methods of construction are in accordance with accepteduistandaridsal of early interesting practice for meeting the Design Flood Elevation (DFE)

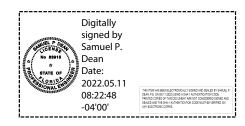
- (i) Breakaway walls will collapse under wind and water loads without causing collapse, displacement, or other structural damage to the elevated portion of the building or supporting foundation system; and
 - (ii) Breakaway walls are designed to have a safe loading resistance of not less than 10 and no more than 20 pounds per square foot.
- Breakaway walls are designed to exceed a safe loading resistance of 20 pounds per square foot, and meet the following conditions:
 - (i) Breakaway walls will collapse from a water load less than that which would occur during thebase flood; and
 - (ii) The elevated portion of the building and supporting foundation system shall not be subject to collapse, displacement, or other structural damage due to the effects of wind and water loads acting simultaneously on all building components (structural and non-structural); the water loading values used shall be those associated with the base flood; and the wind loading values used shall be those required by applicable State or local standards.

Section 3 only____

Section 5: Certification

Check one: Sections 3 and 4 ✓

Name (please print): SAMUEL DEAN		
Title: VICE PRESIDENT OF ENGINEERING		License No: FL PE#83915
Phone No: 813-961-3075		Email: SDEAN@BELTENGINEERING.COM
Company: BELT ENGINEERING		
Address: 1503 W BUSCH BLVD		
City: TANADA	State: ri	7in Code: 22612



Section 4 only_